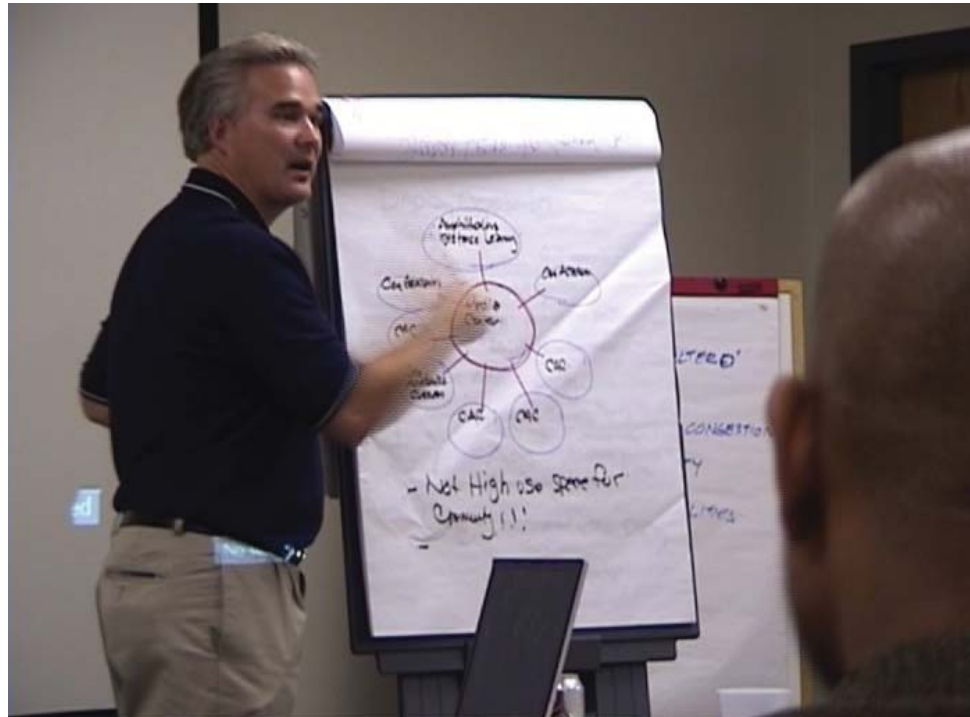




Visioning Conversations

Meetings Held

Executive Team	2
Small Learning Communities Team	3
Department Staff Interview/Meetings	2
Students	1
Board Member Interviews	7
Meetings with Construction Manager	4

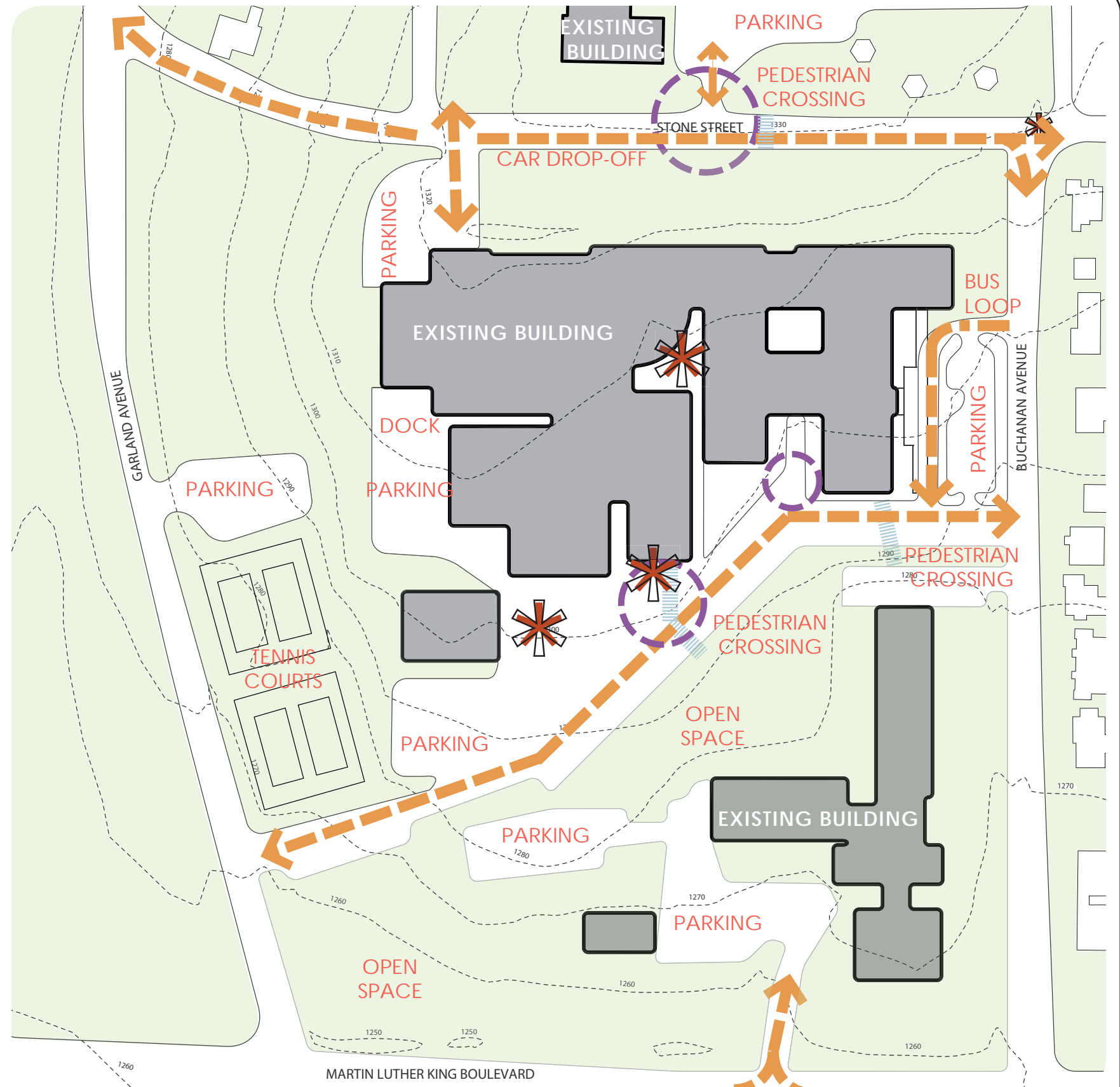


Site Constraints

- o Steeply sloping site areas require buildings to be more compact /stacked.
- o No clear separation of traffic patterns between north student lot and Buchanan Ave.
- o Pedestrian crossing conflict on Stone Blvd.
- o Limited car drop-off area on Stone Blvd. (approximately 26 car stack).
- o Visitor parking not located near the Main Entry.
- o Auditorium /Gym buildings do not fit in with Architecture.
- o Steep slopes difficult to develop between Garland Avenue and High School (up to 10%)
- o No clear traffic patterns within the Staff/Student/Service corridor between Garland and Buchanan Avenue.
- o Potential traffic conflicts with Food Service delivery vehicles with dock and loading area within the parking lot.
- o Pedestrian crossing conflict near Food Service dock with vehicles between ALLPS and the High School.
- o Current bus loop accommodates 5-6 busses. Stacking for 12-15 busses is needed.
- o Bus loop exit onto Buchanan has a potential vehicle break-over issue with existing street grades.
- o Many campus buildings have been added over the years and do not fit together efficiently.
- o Limited areas to protect students during incimate weather.
- o Agri building courtyard drainage issues.

Site Opportunities

- o Undeveloped area of about 3-4 acres along Sixth Street.
- o Sloping site offers the ability to stack spaces for a more efficient campus development.
- o Relocation of Tennis Courts off-site frees up land for development.
- o Ability to demolish the existing Elementary School (Bates Annex) frees up land for development.

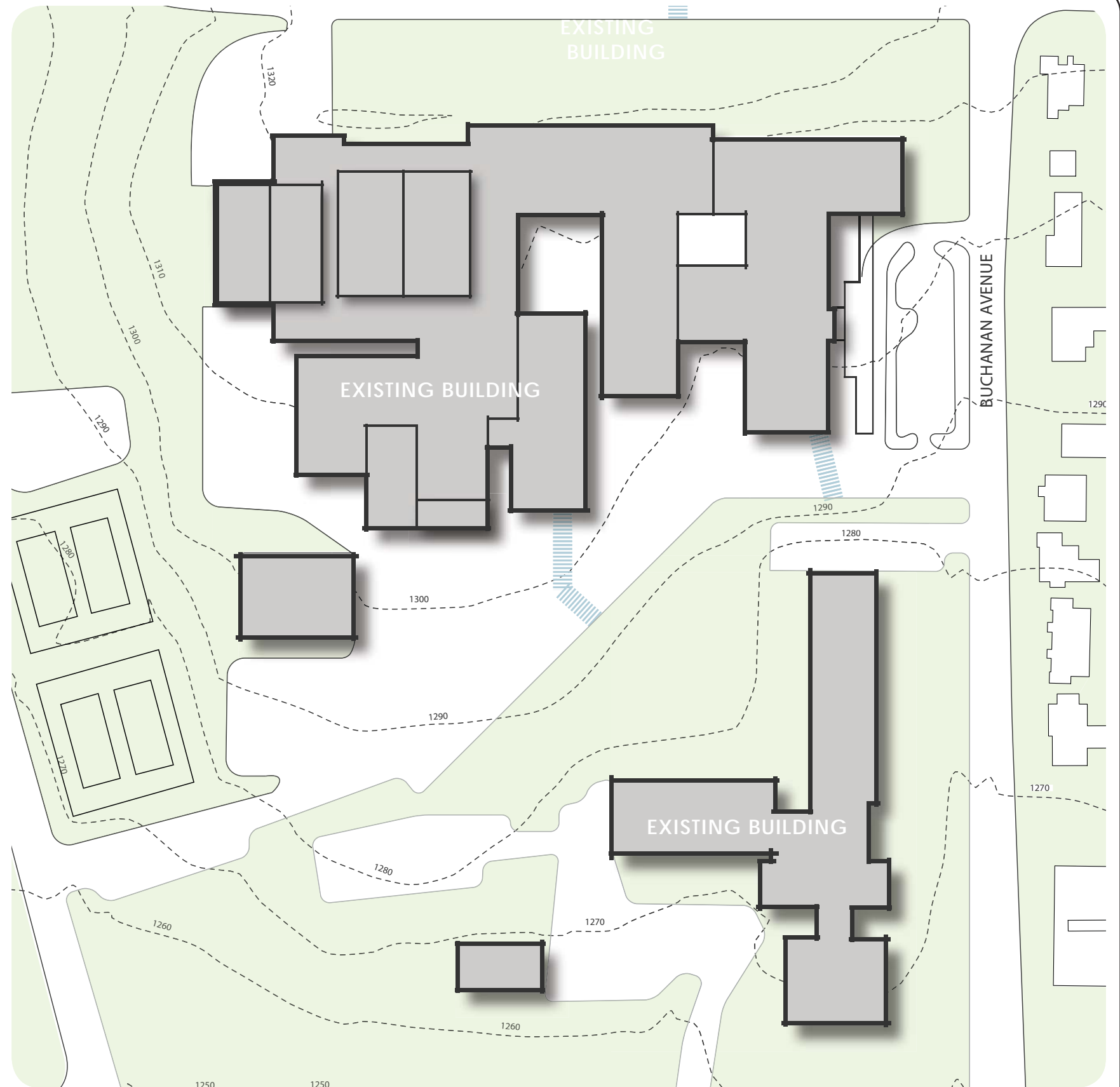


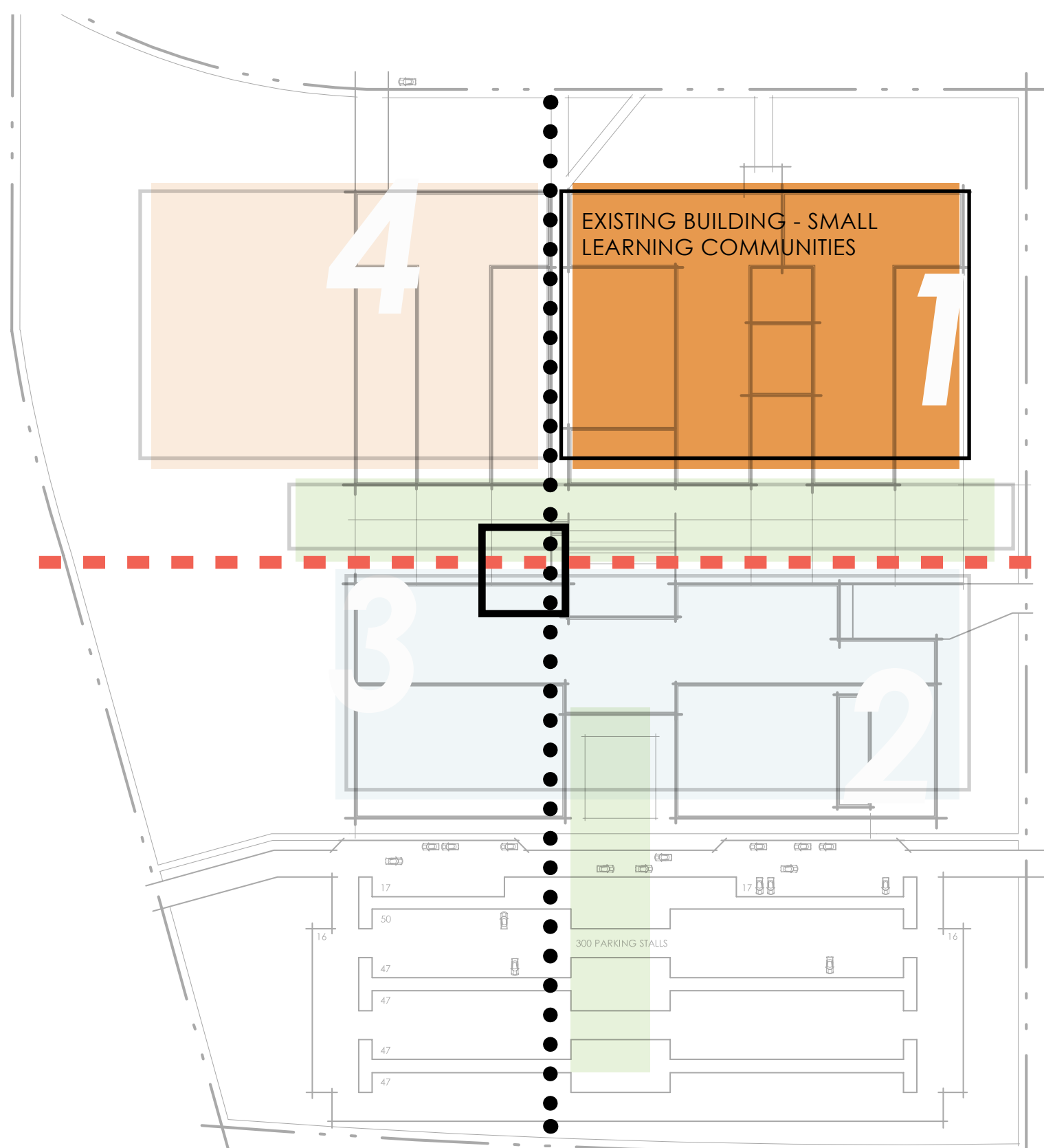
Building Constraints

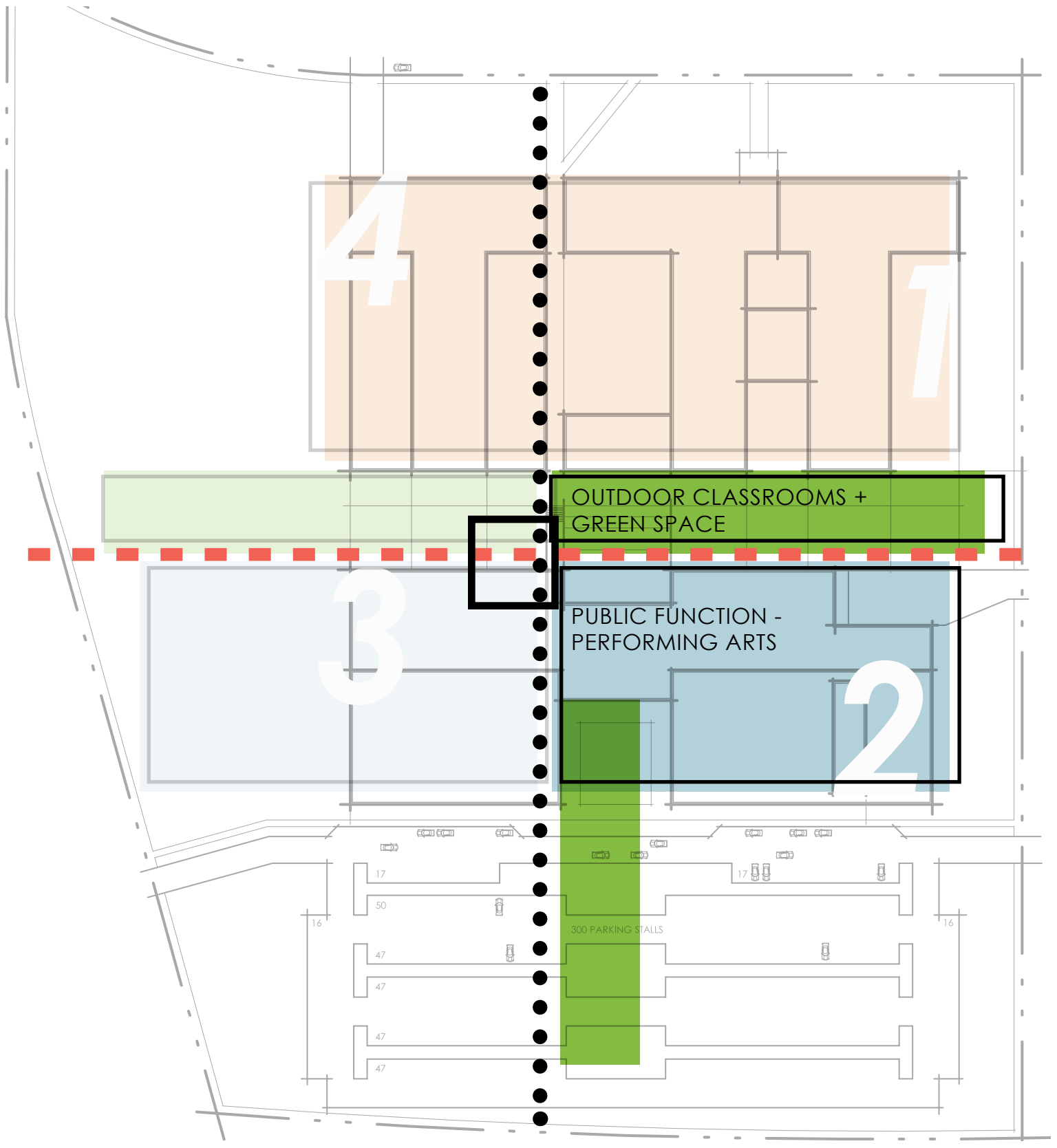
- o Floor level change challenges
- o Inefficiency of ad-hoc additions.
- o Tired buildings.
- o Roof leaks incoming waste from storm events.
- o Inadequate area to facilitate educational environment.
- o Multiple exterior door openings creates security issues.
- o Aesthetic challenges.
- o Inefficient 1-story buildings on limited site area.
- o Way-finding challenges.
- o Limited student gathering areas and conference facilities.
- o Accessibility challenges.
- o Indoor Air Quality issues.
- o Inflexible spaces.

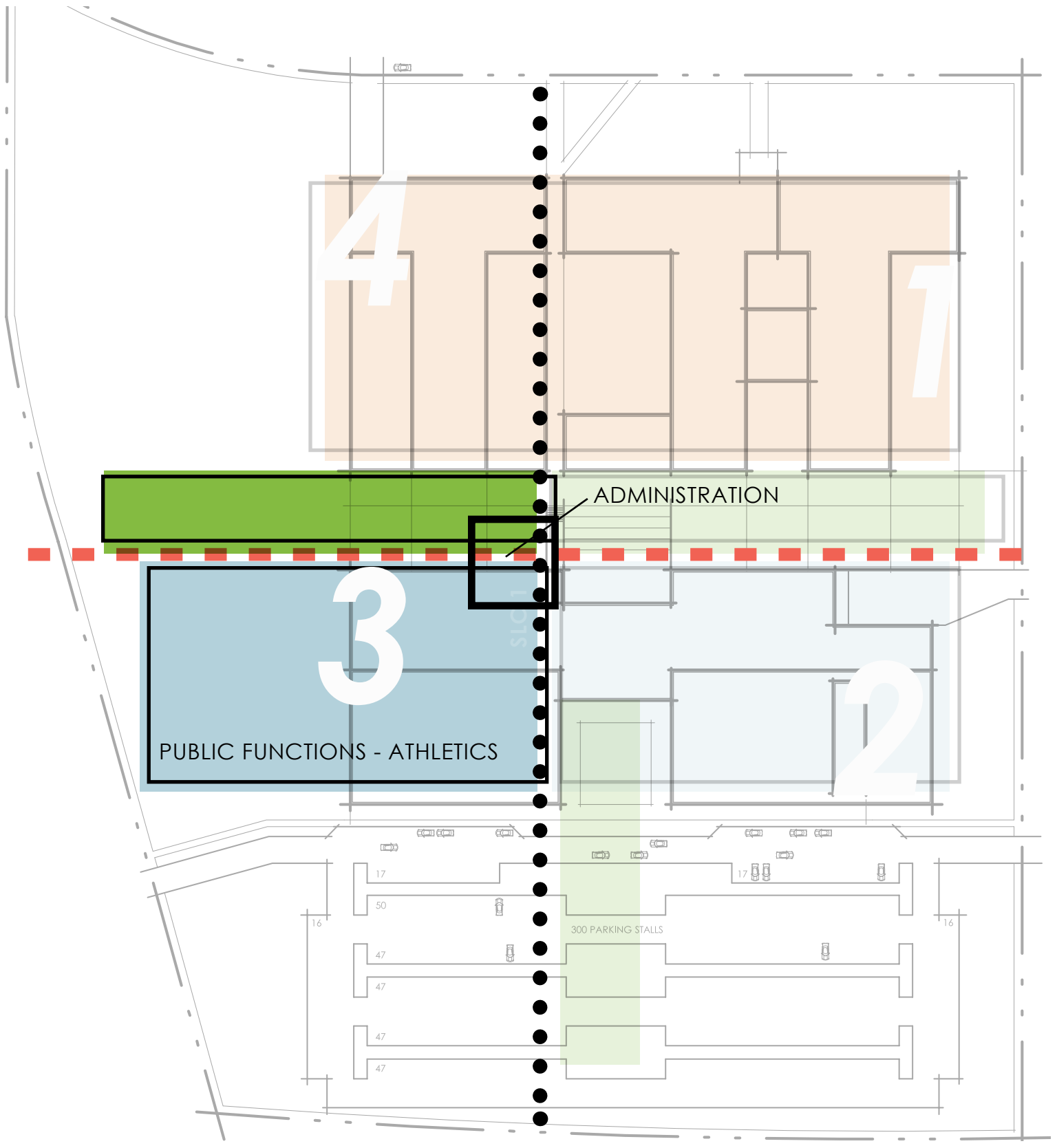
Spaced efficiencies relative to state of Arkansas guidelines

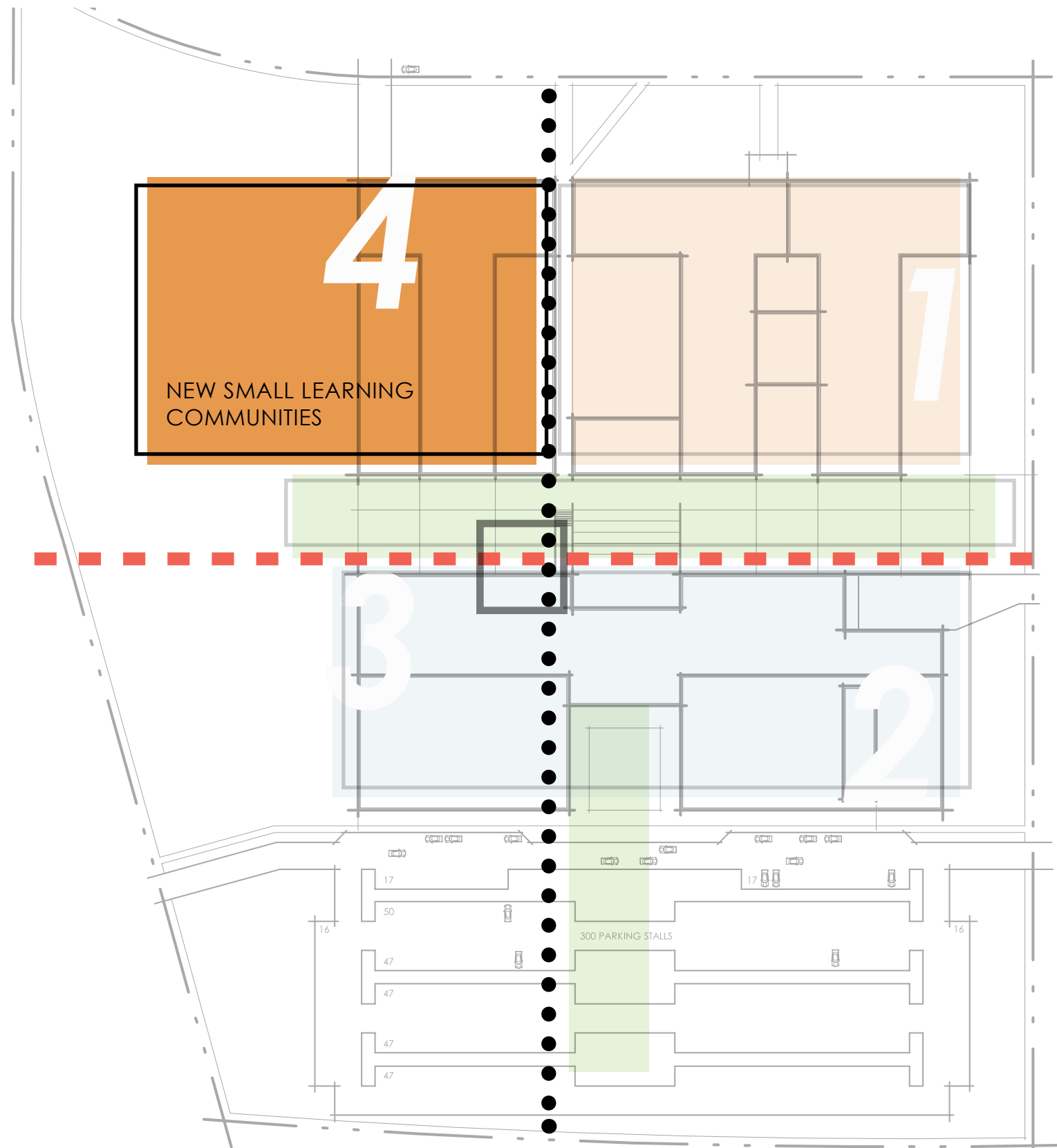
- o General education classrooms (65% undersized)
- o Science (11% deficient)
- o Fine Arts (missing 1 art classroom)
- o Performing Arts (14% deficient)
 - o Auditorium (60% deficient)
 - o Rehearsal Room (undersized volumes)
- o Career Programs (64% deficient)
- o PE/Sports/Athletics (21% deficient)
- o Food Service (65% deficient)
- o Building Services (46% deficient)





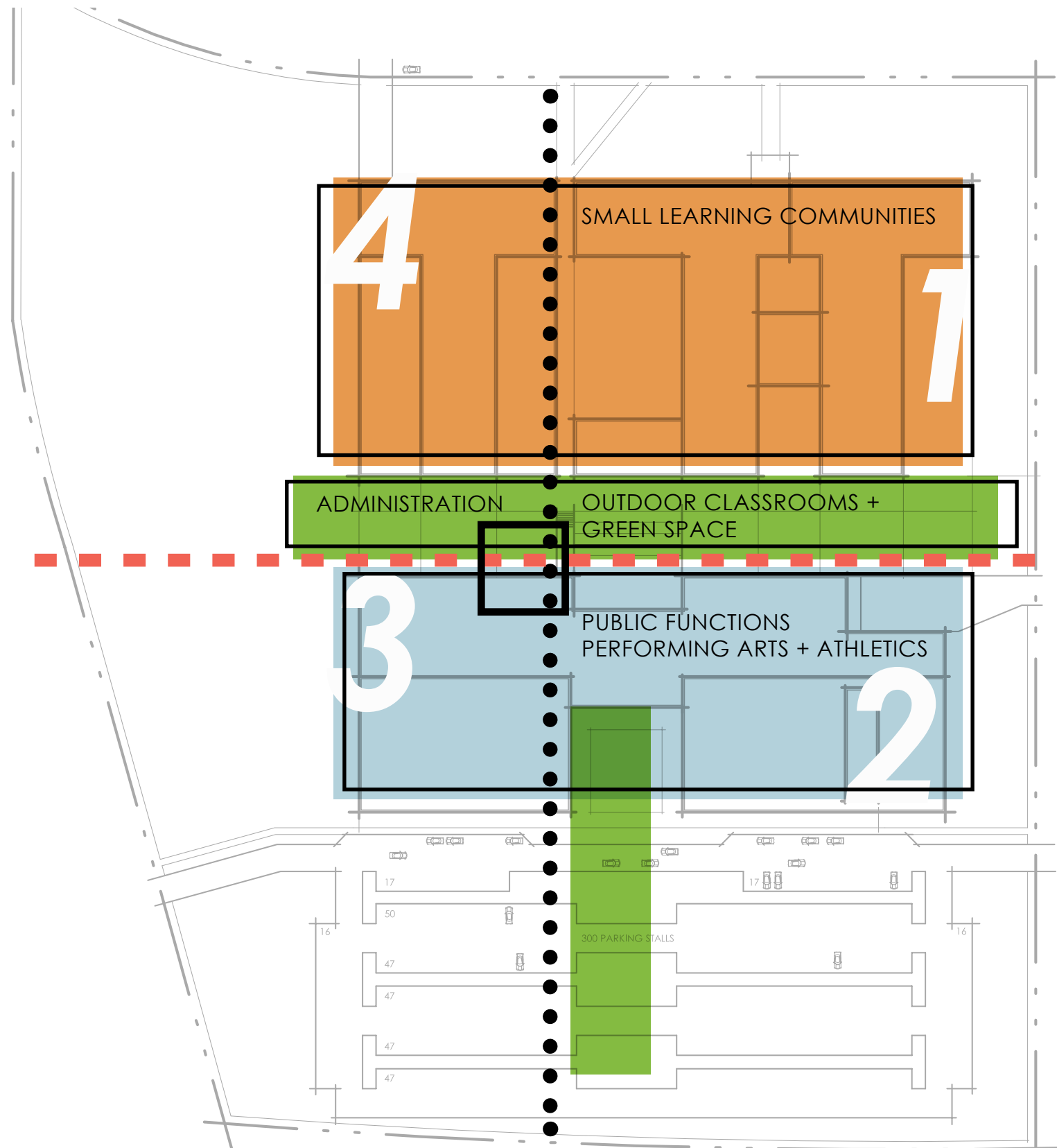


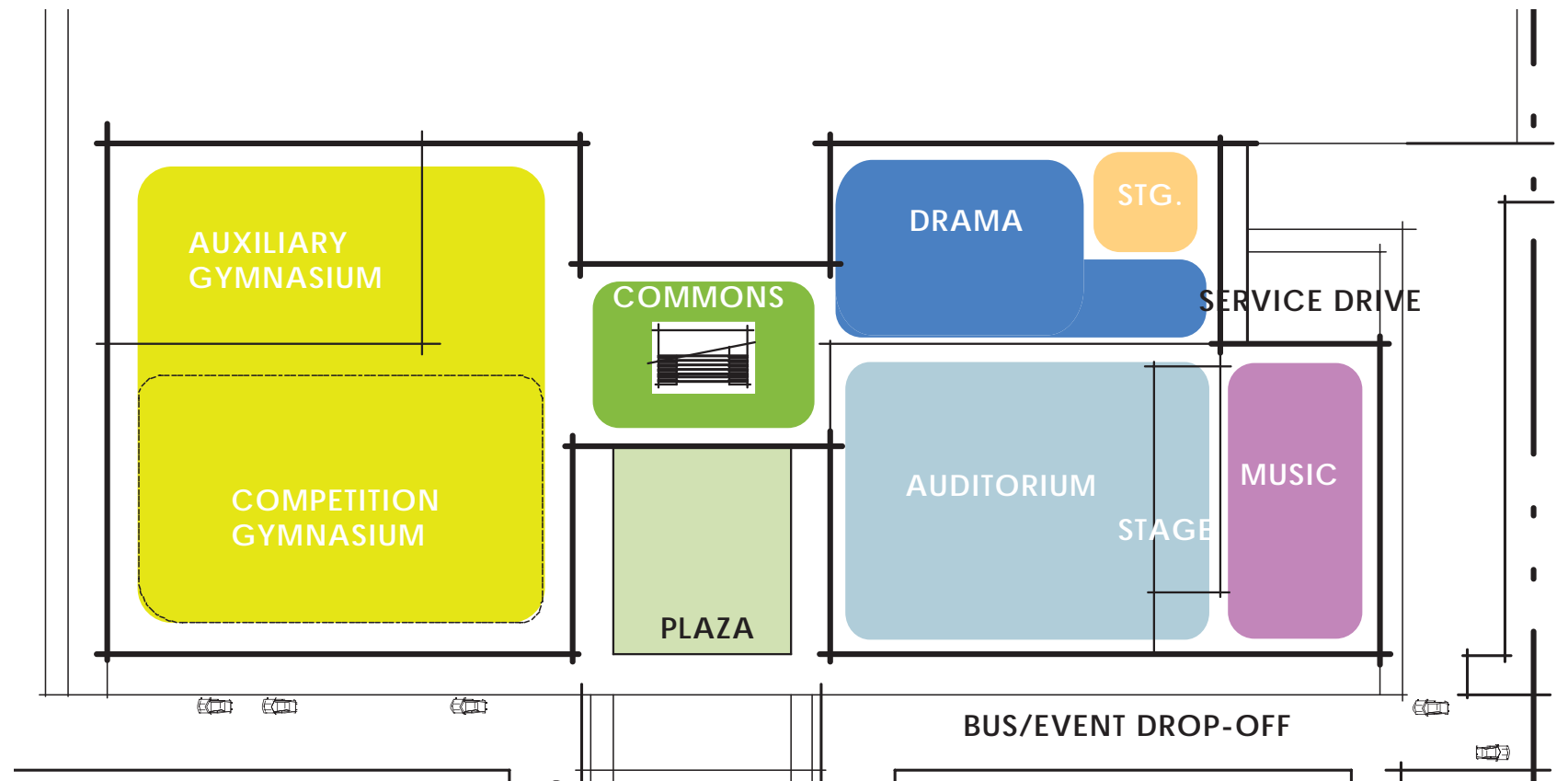


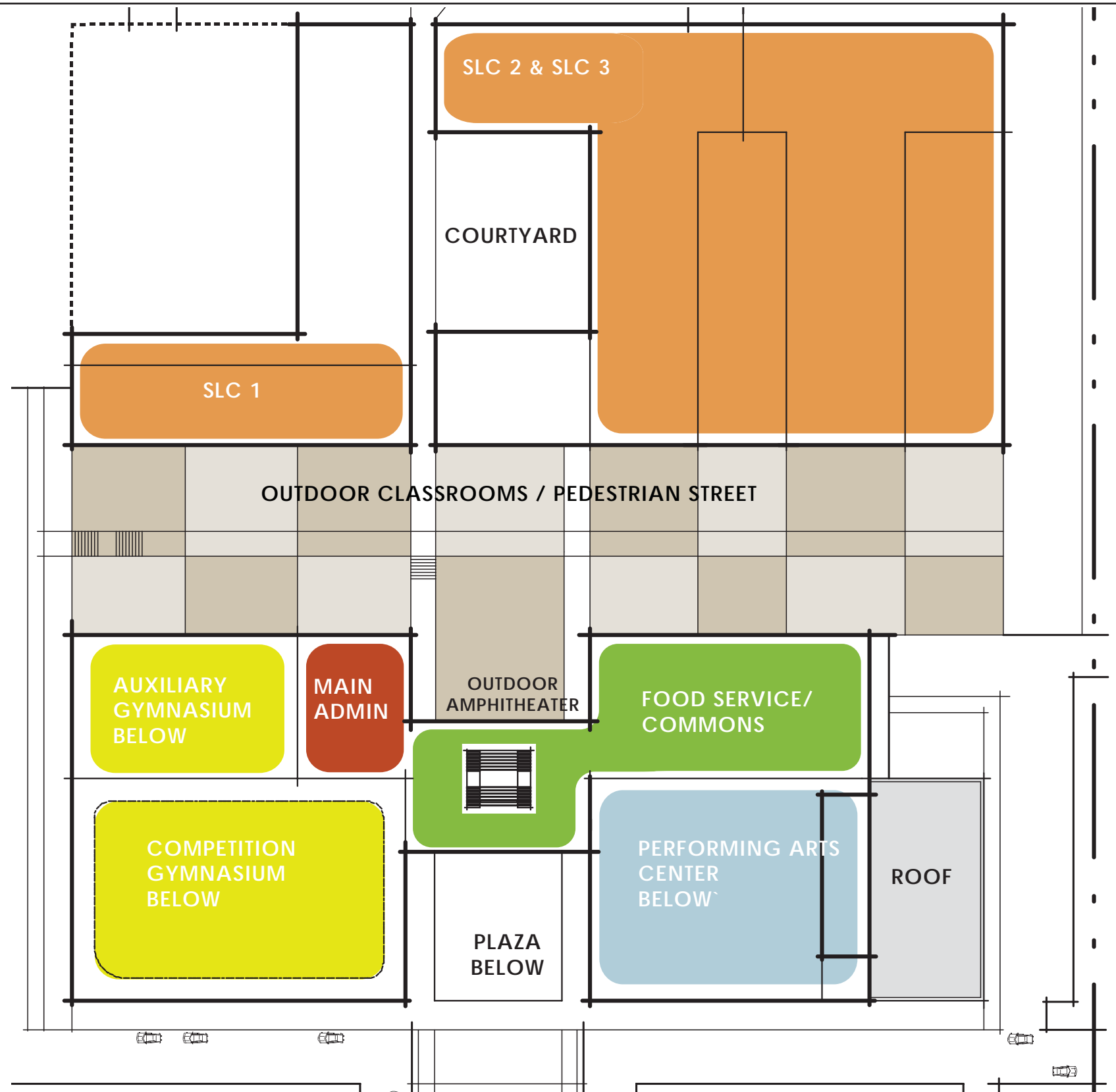


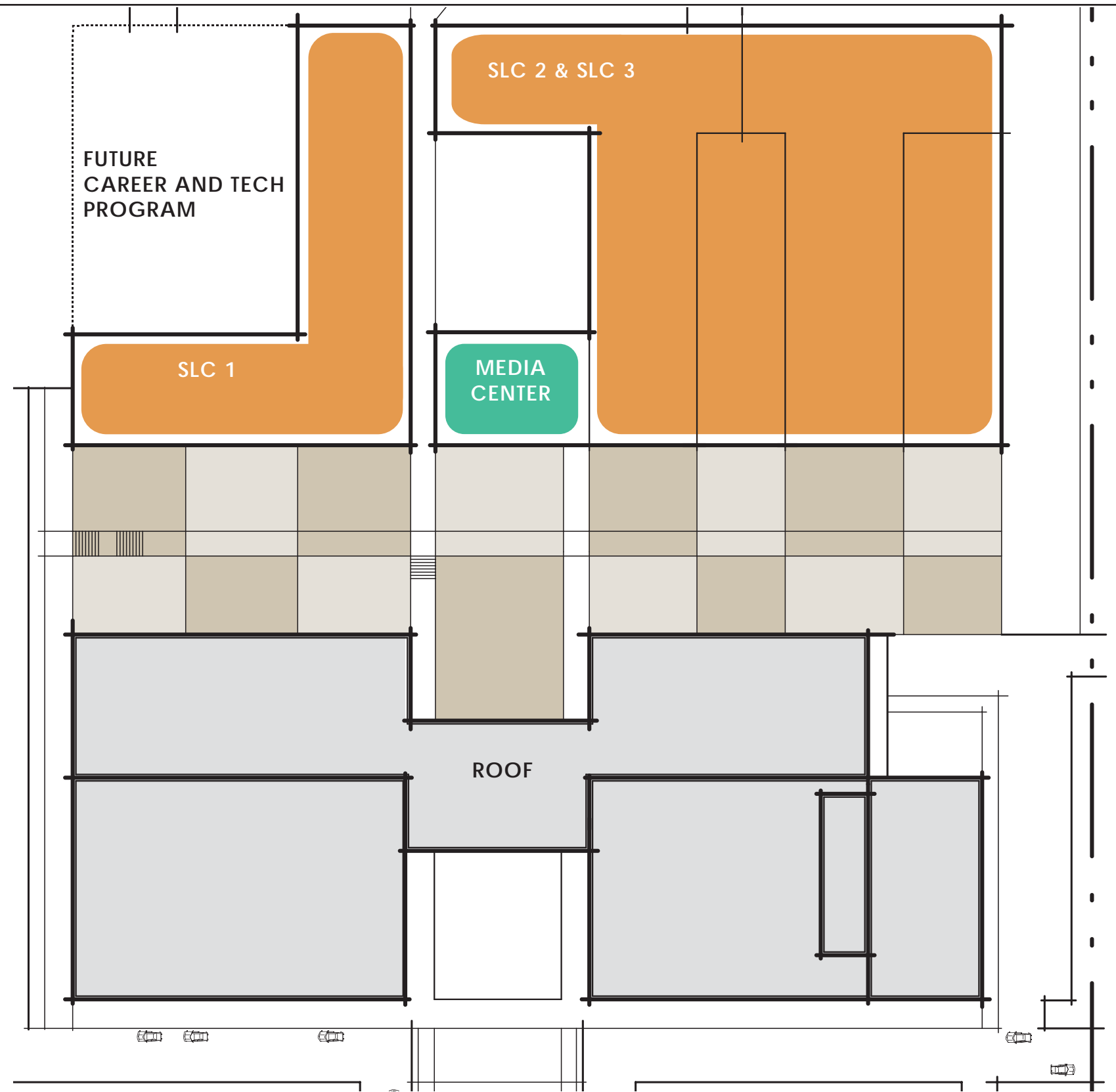
SCL COMMITTEE FHS GUIDING PRINCIPLES FOR DESIGN:

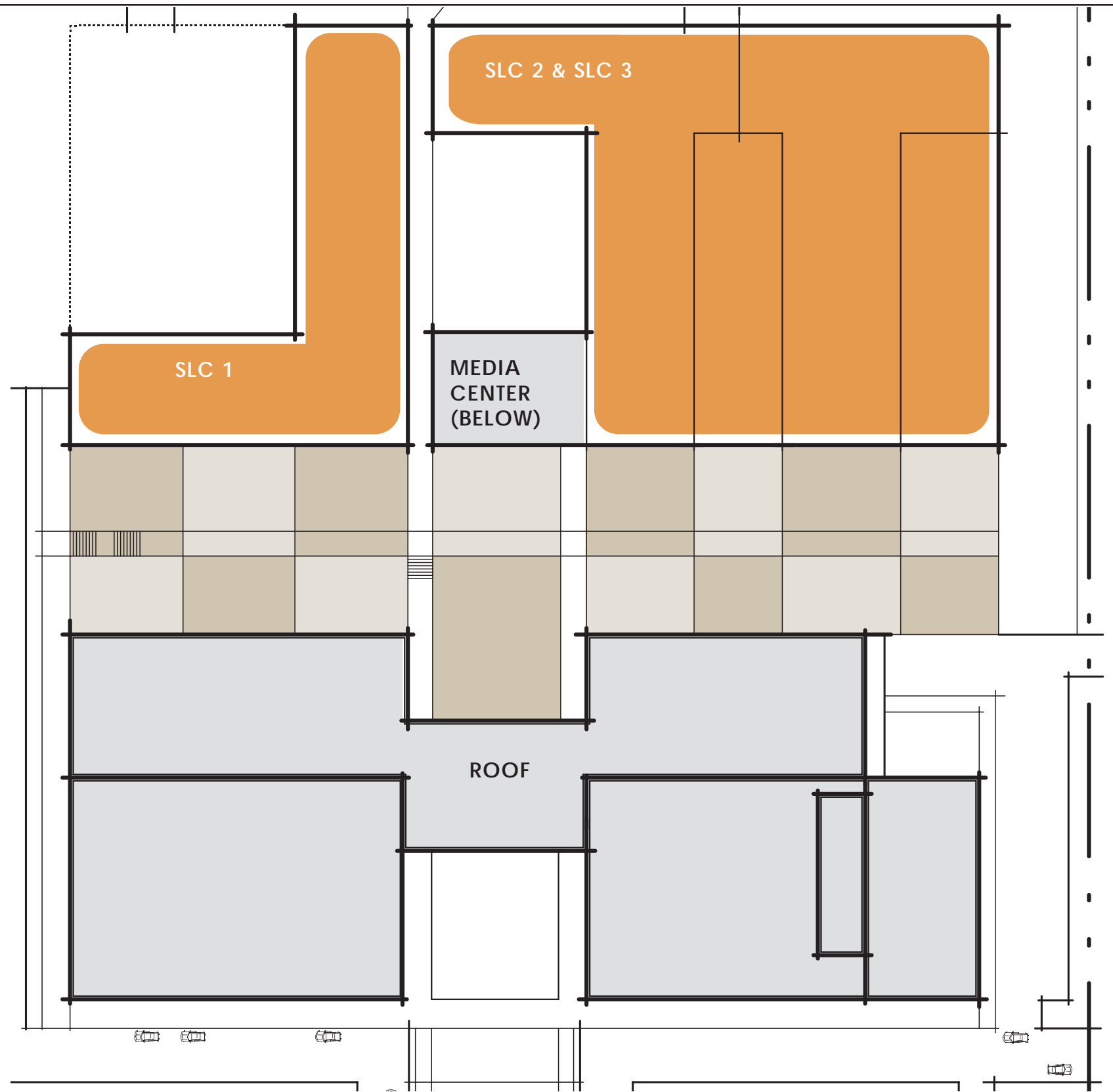
- RELATIONSHIPS AT THE CENTER – (Student/Student, Teacher/Student, Teacher/Teacher)
Promote Collaboration & Personalization
- TRANSPARENCY - Visually and Operationally
- RIGOR / RELEVANCY / RELATIONSHIP / REFLECTION
- STIMULATE PASSION FOR LEARNING
- SUPPORT CORE BASE OF KNOWLEDGE
- BUILD AN INTERDISCIPLINARY CURRICULUM
- REAL-WORLD LEARNING

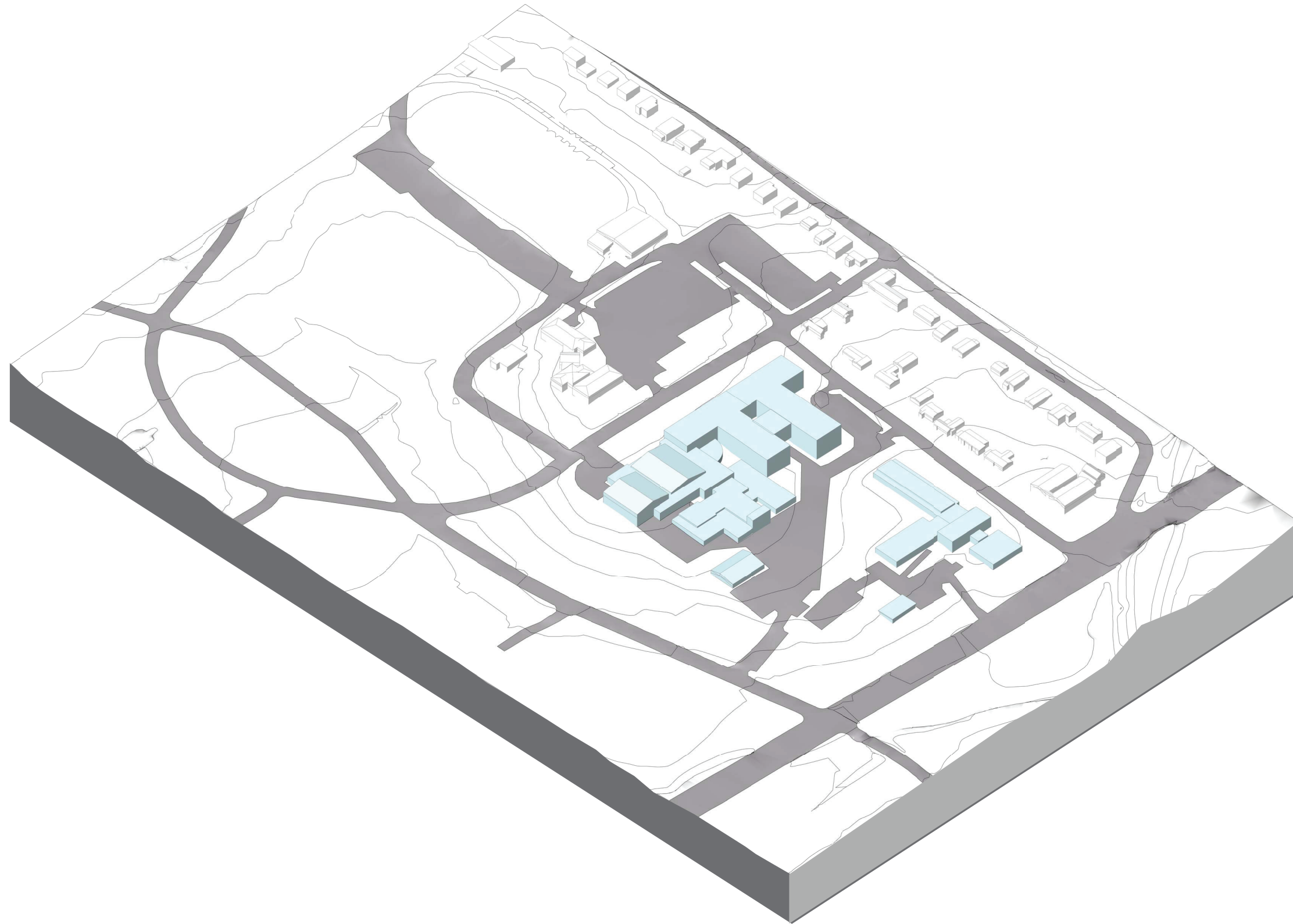


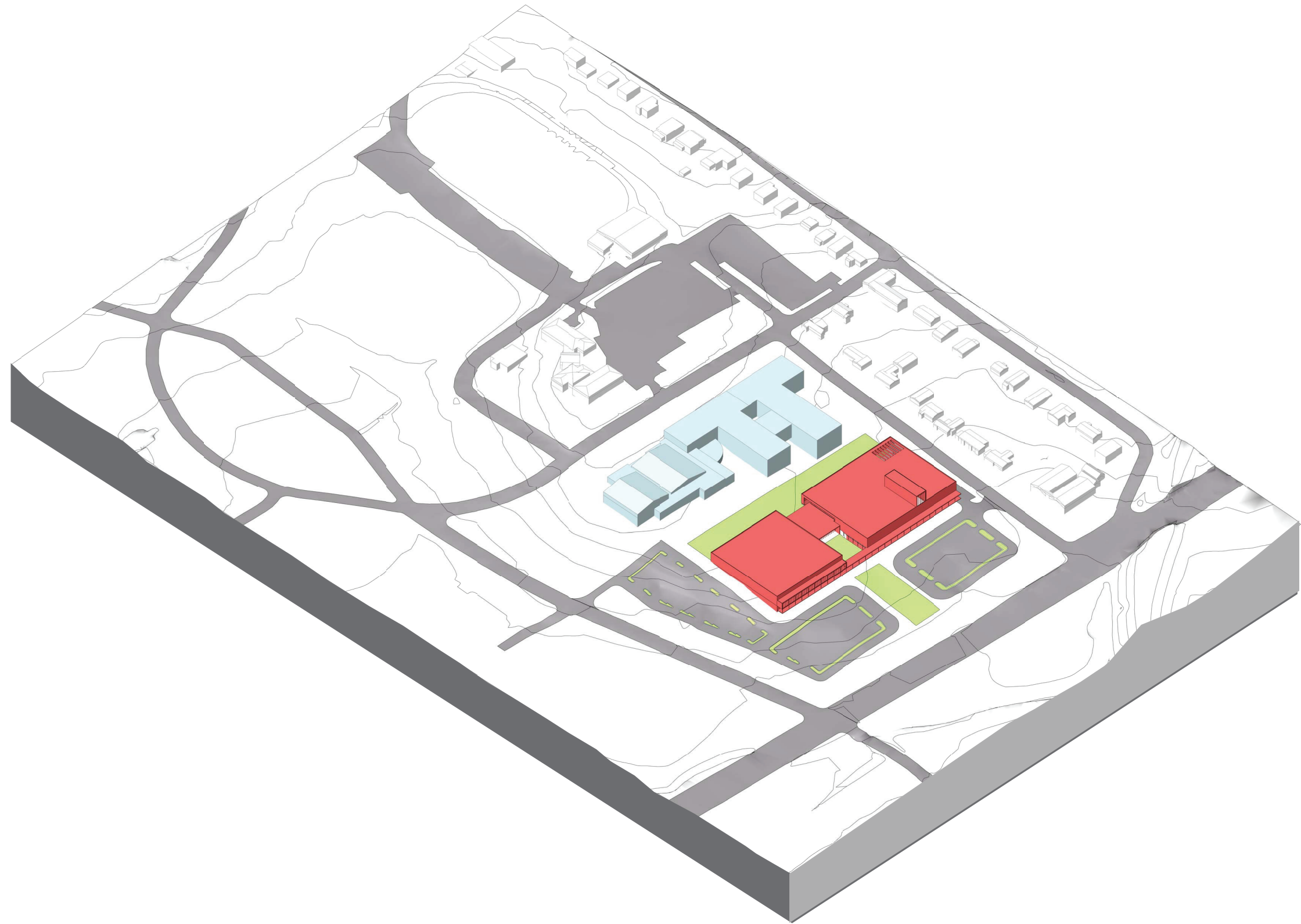


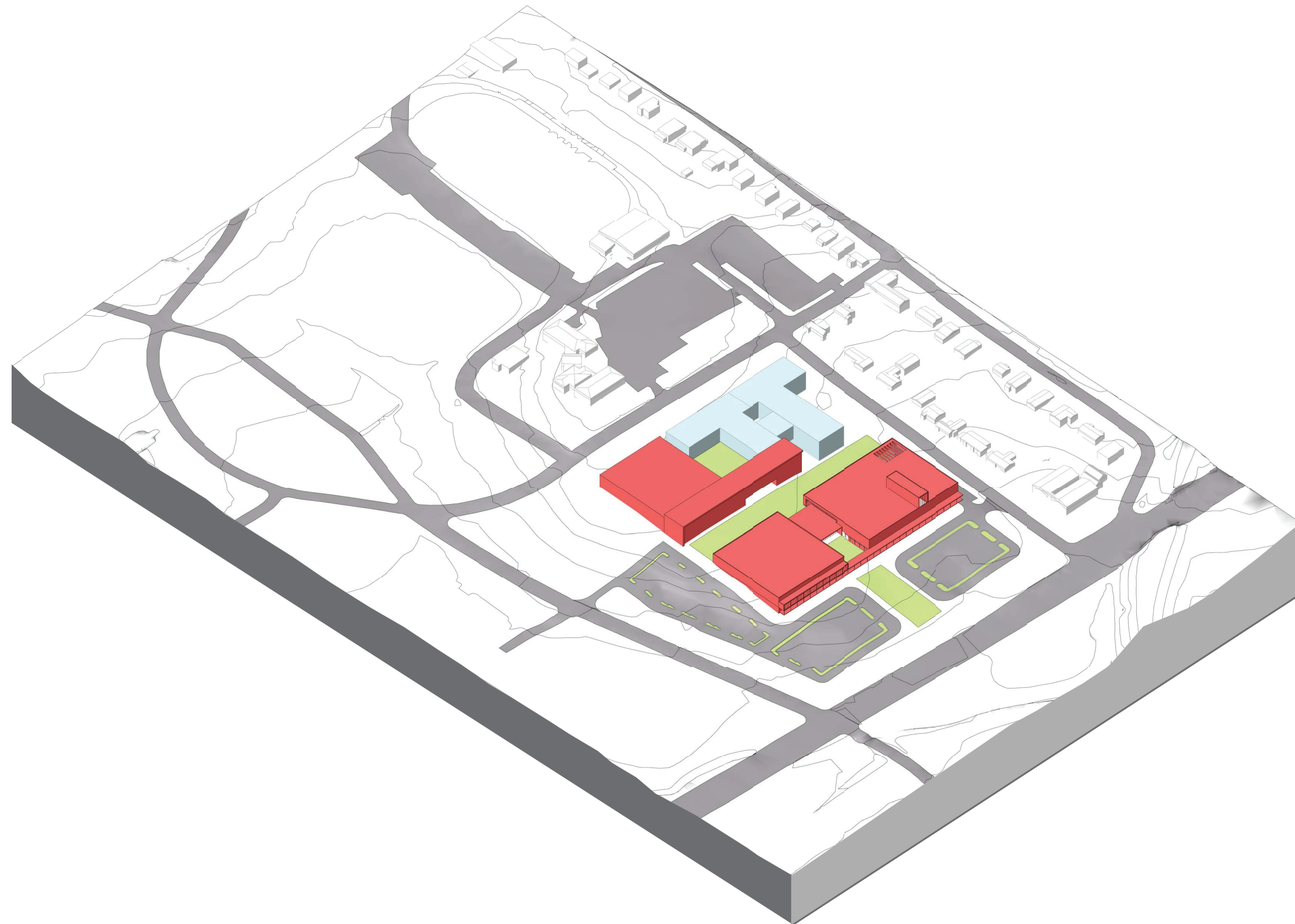


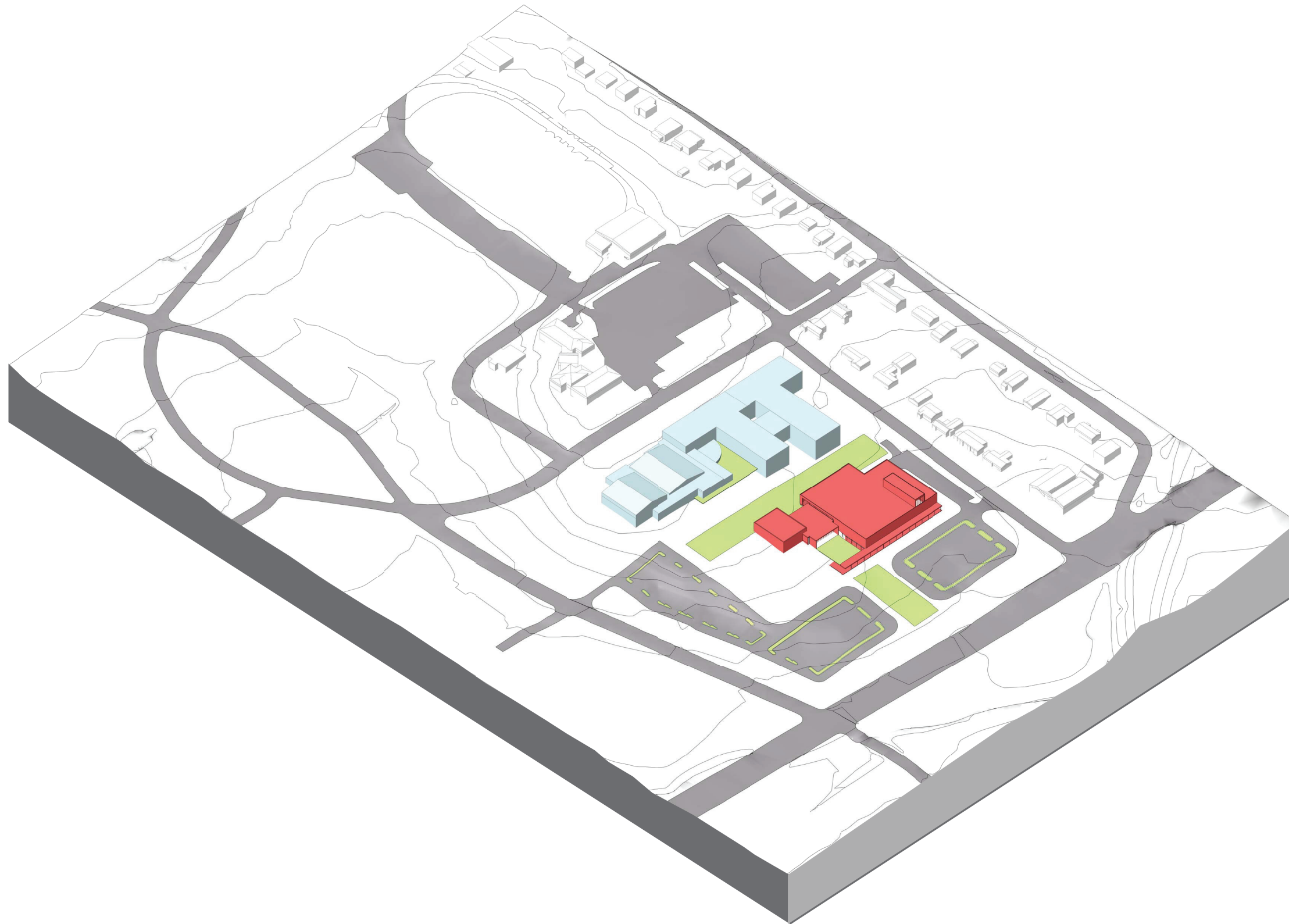


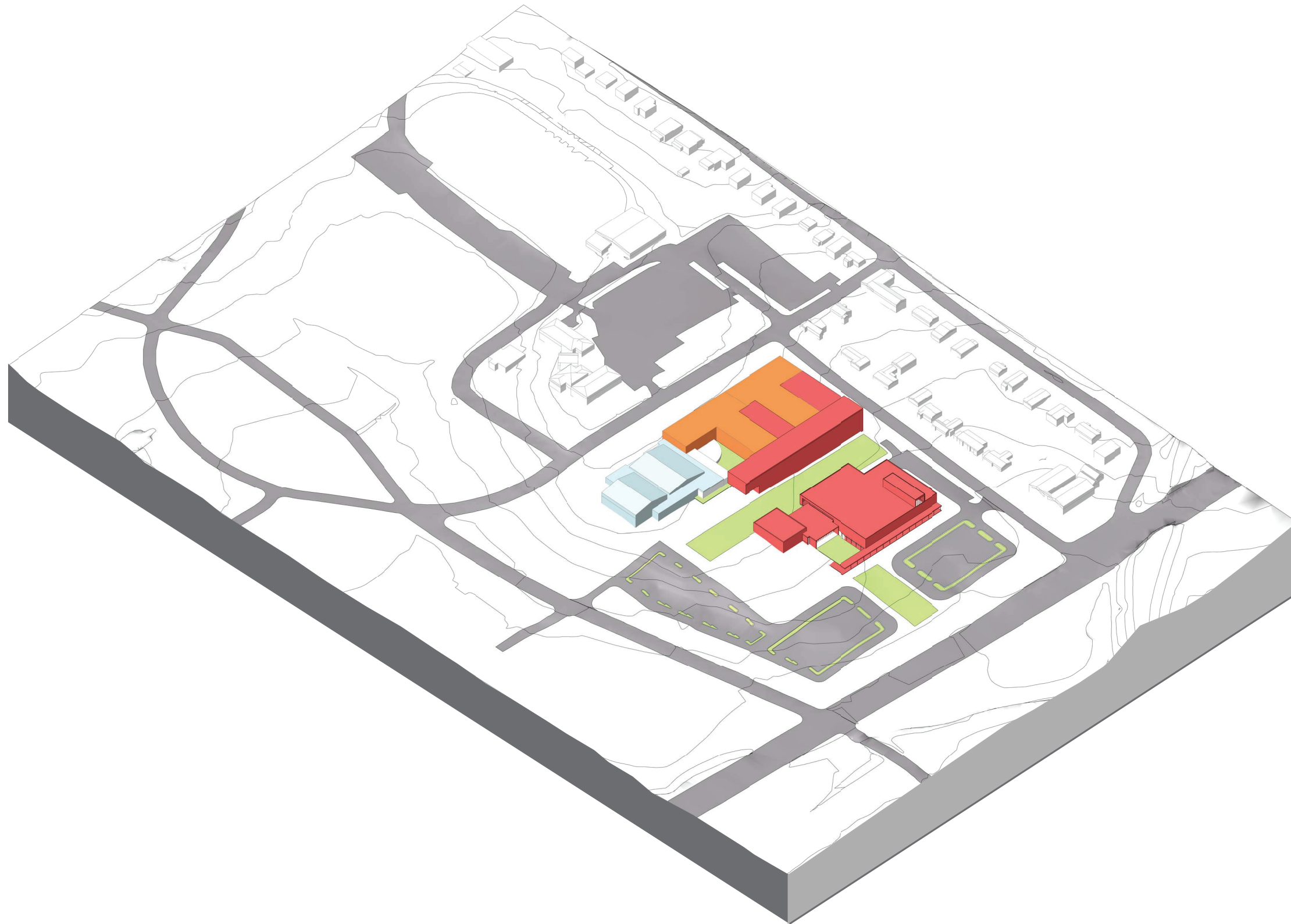


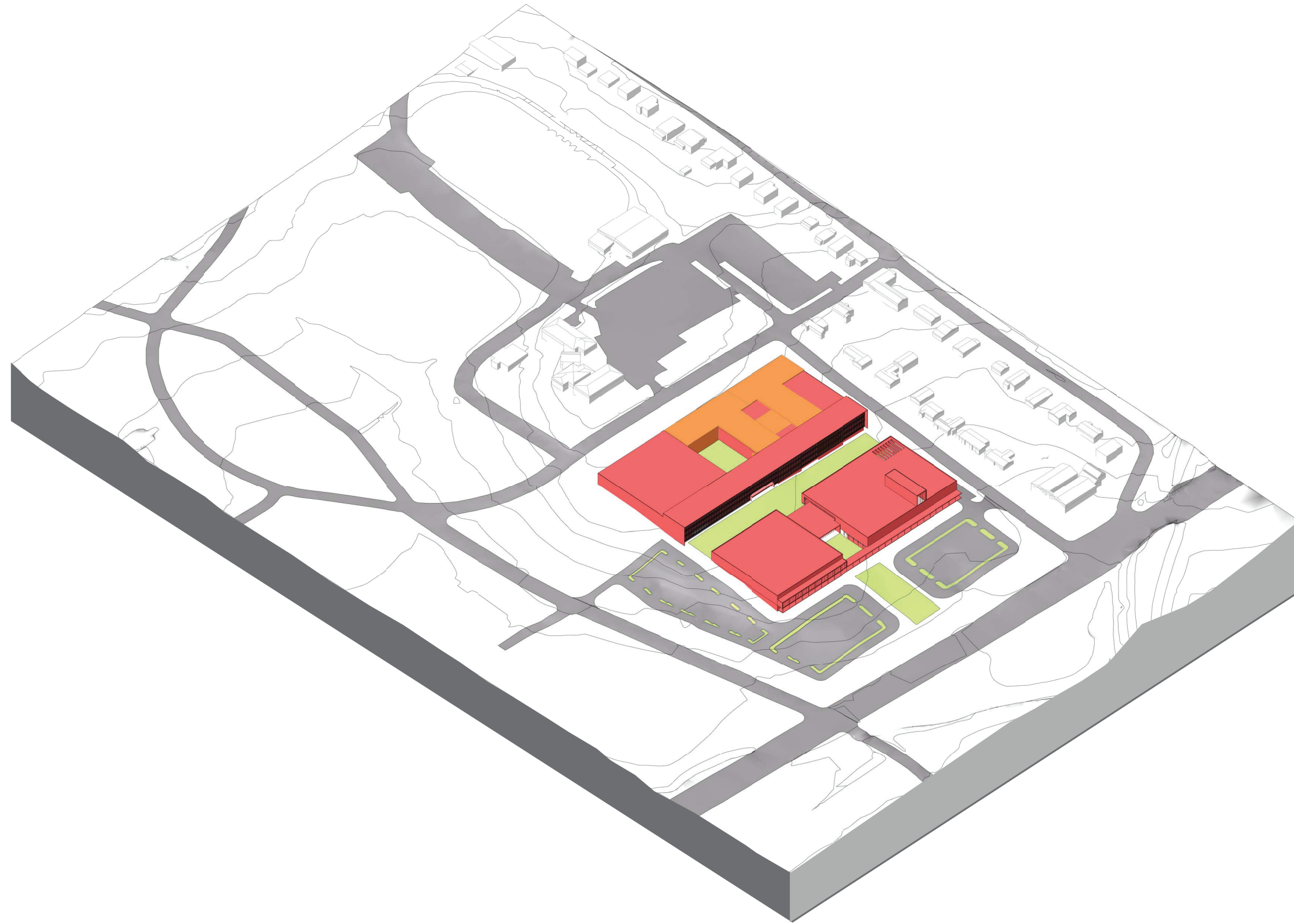


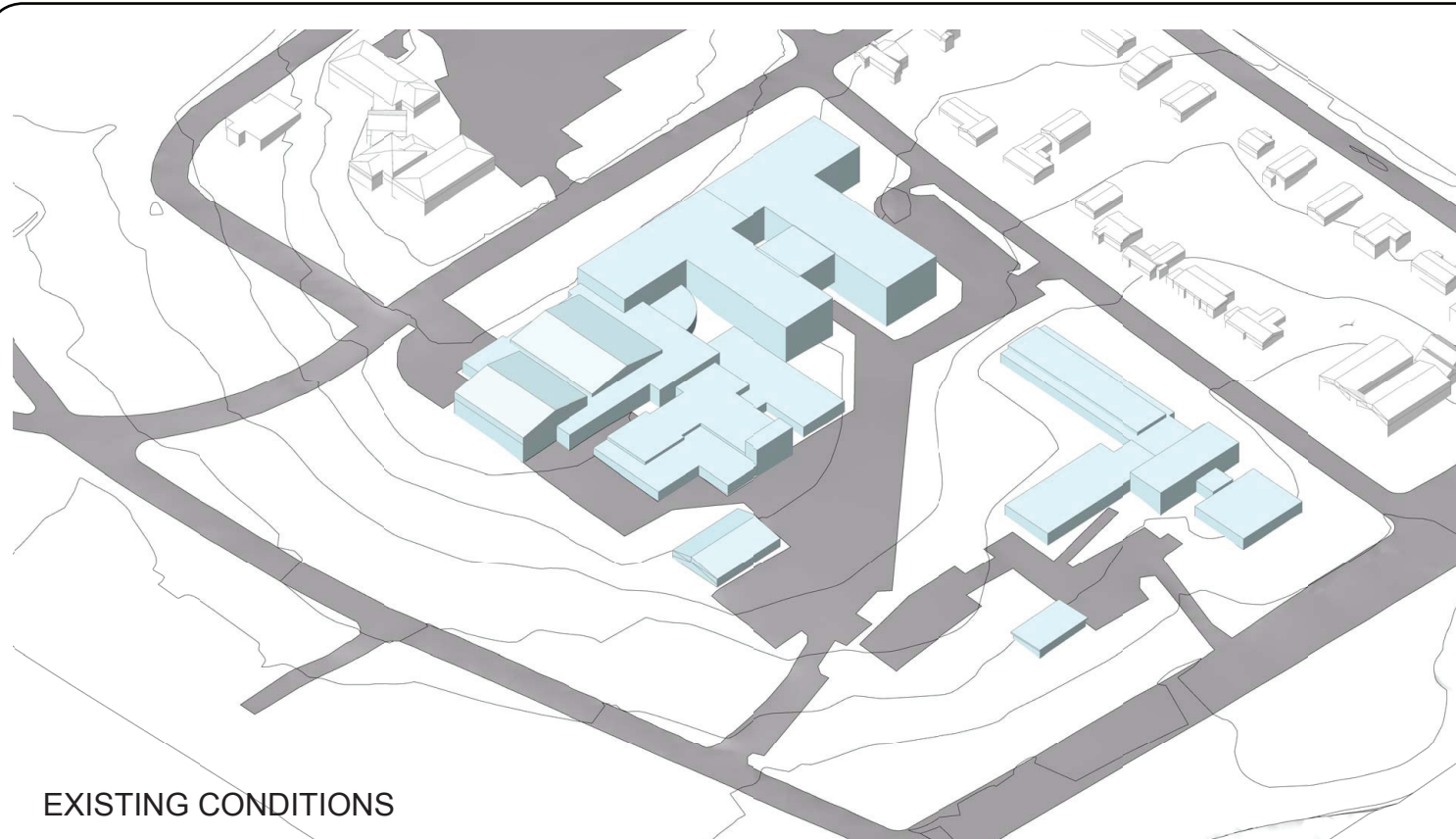




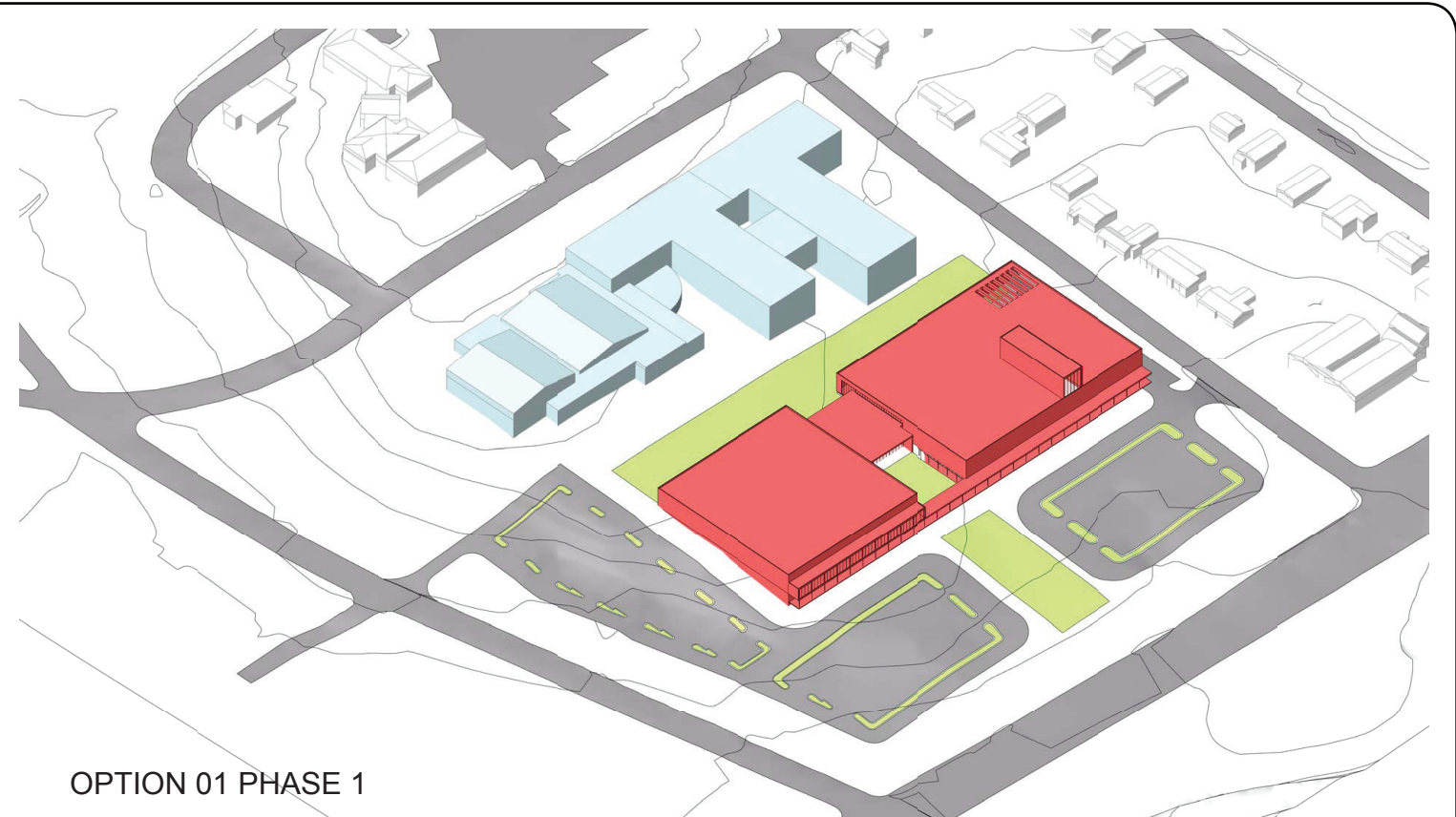




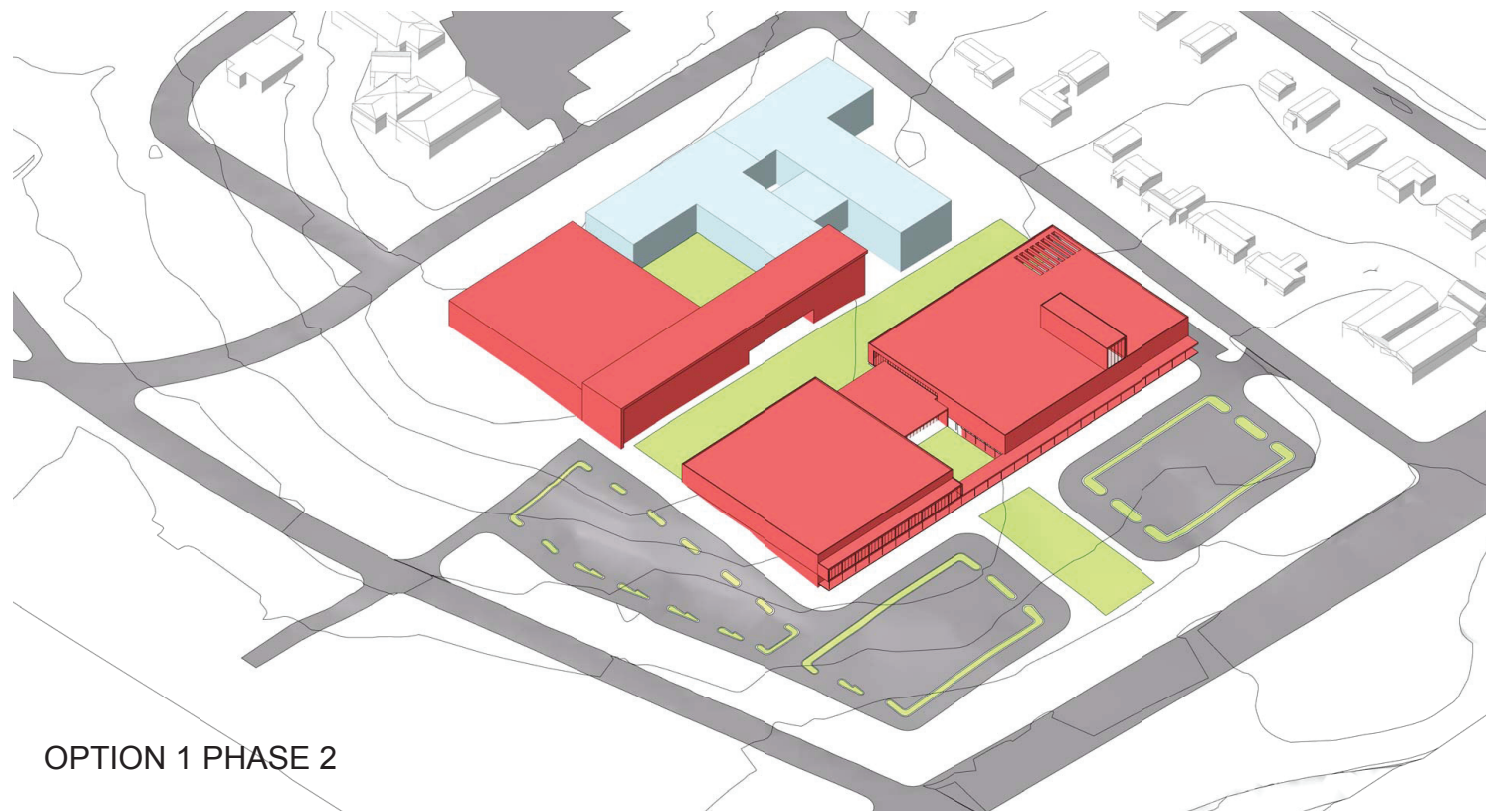




EXISTING CONDITIONS



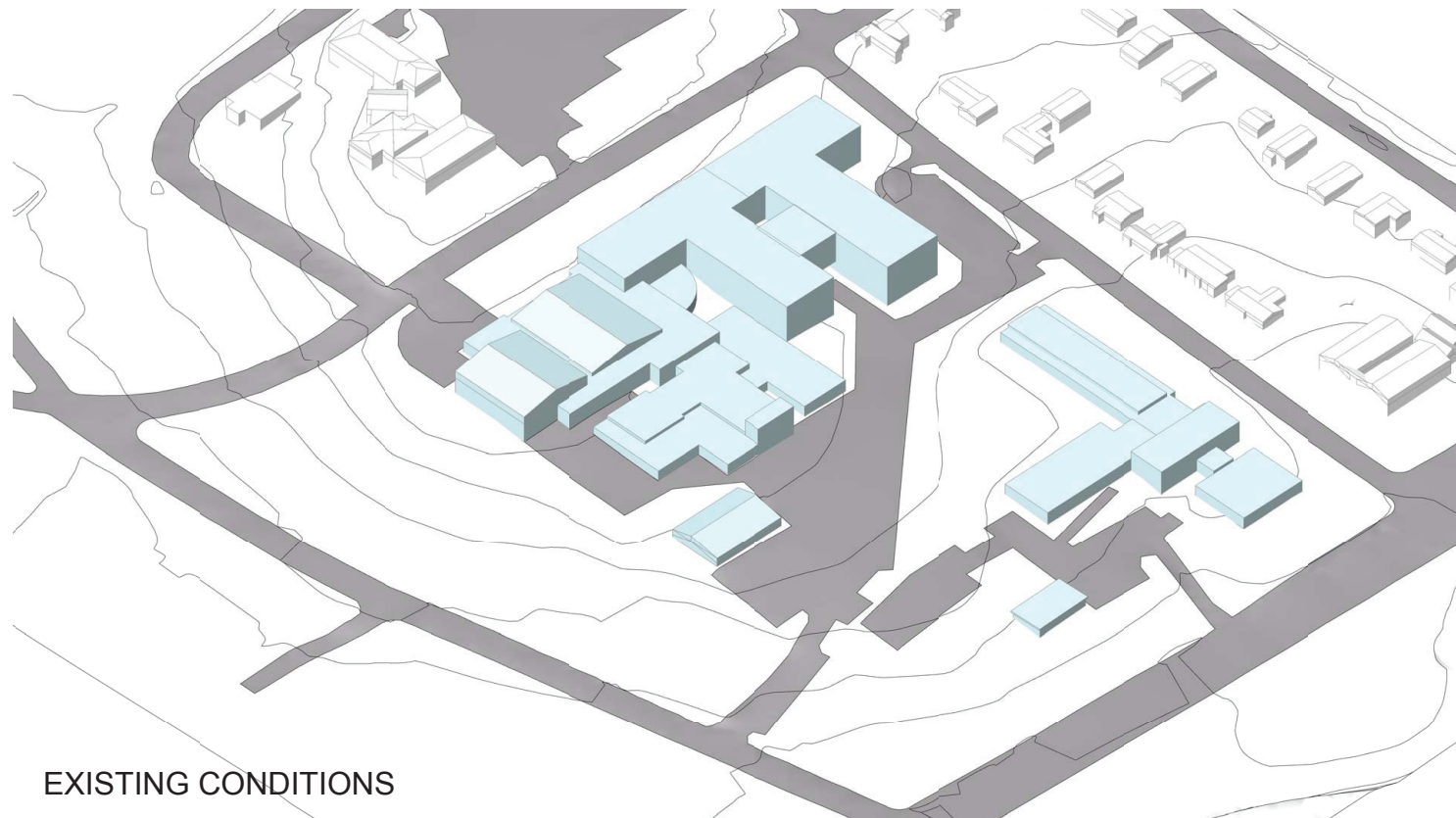
OPTION 01 PHASE 1



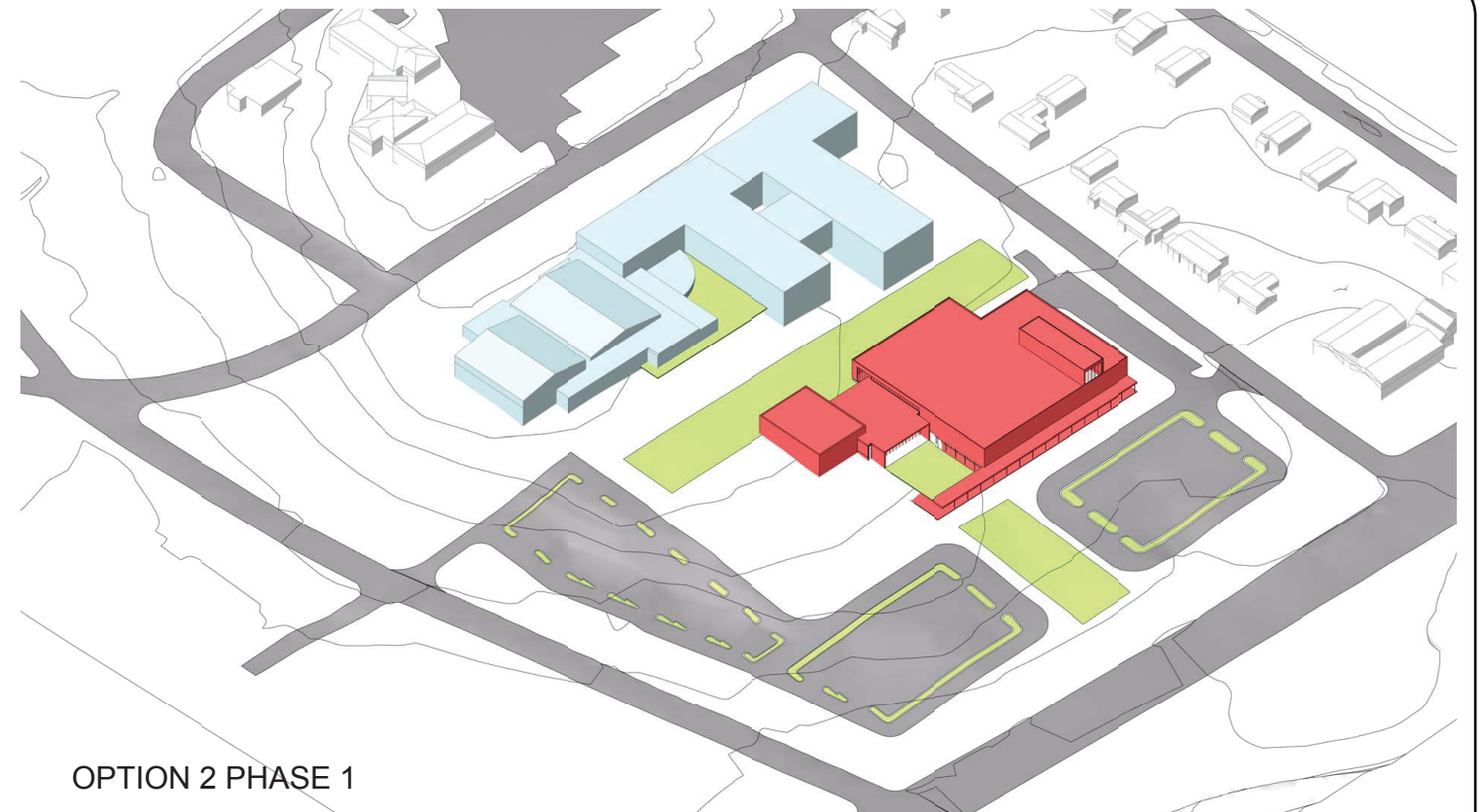
OPTION 1 PHASE 2



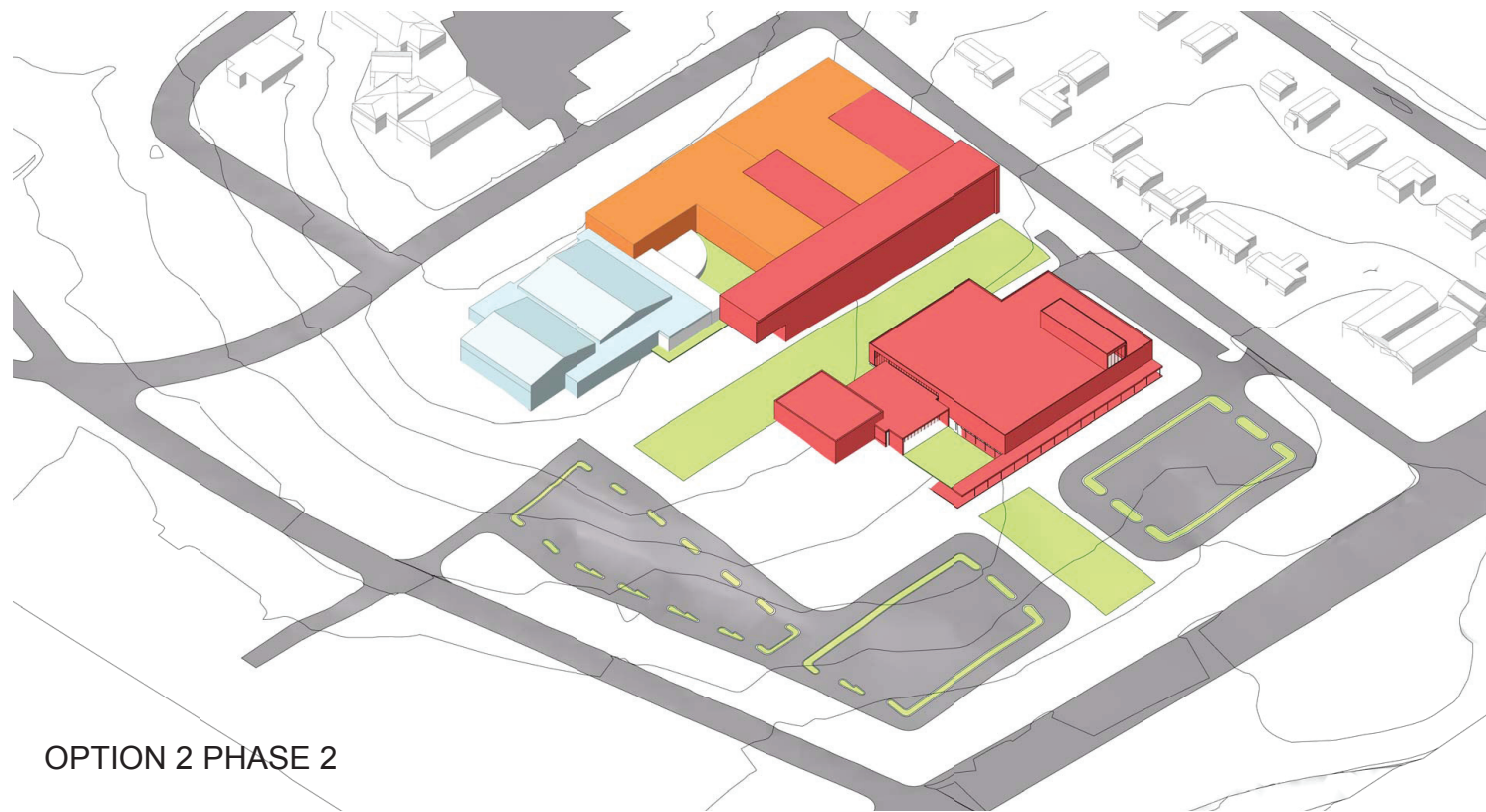
COMPLETE VISION



EXISTING CONDITIONS



OPTION 2 PHASE 1



OPTION 2 PHASE 2



COMPLETE VISION

 NEW CONSTRUCTION

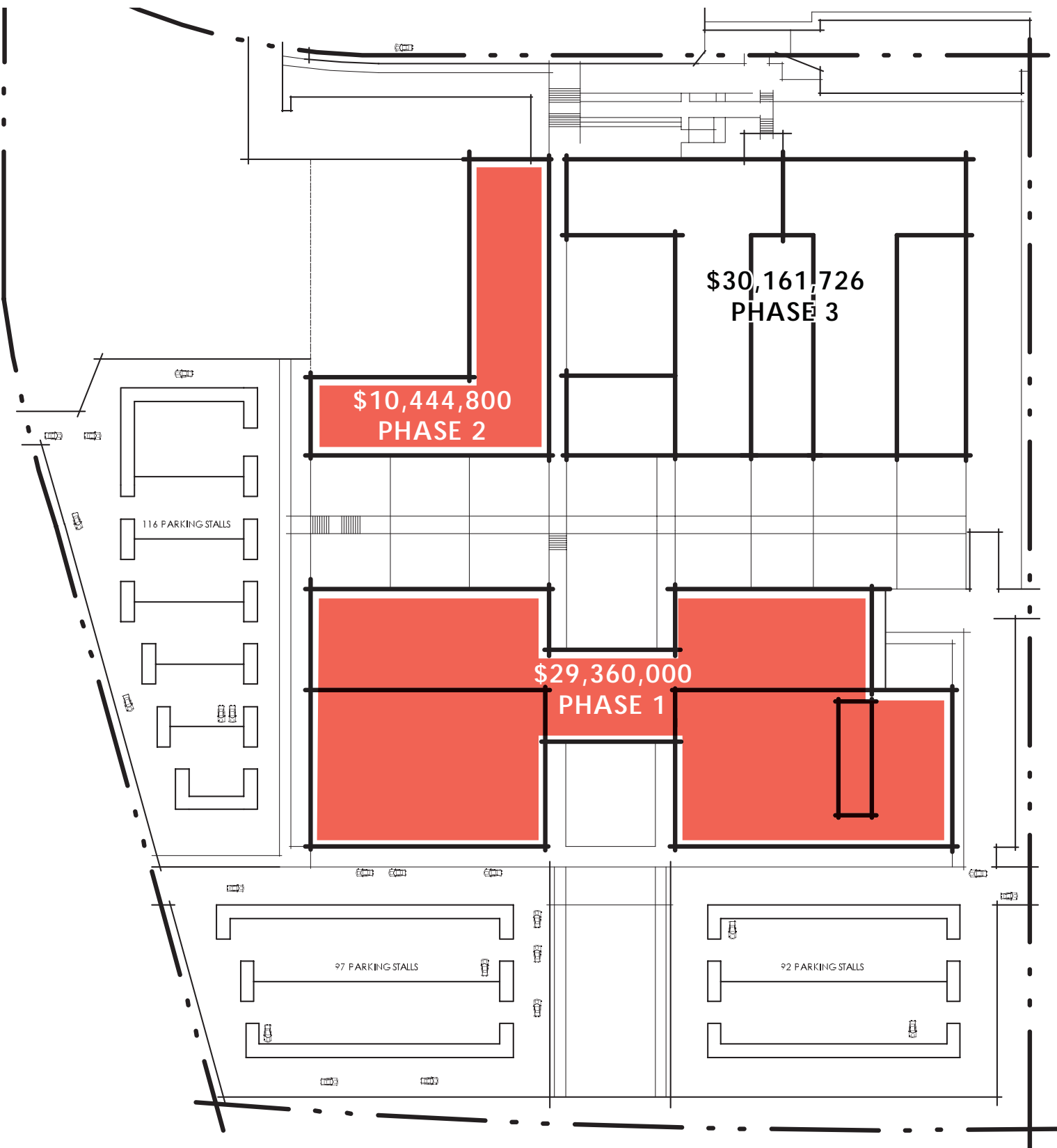
 RENOVATED BUILDING

Pros:

- o Maximizes new education space (2400-3000 student capacity)
- o Allows SLC to be tested before modernizing existing learning center
- o Completed new front door (admin, community commons, performing arts, P.E./Athletics)
- o Phasing less disruptive
- o Less expensive Masterplan
- o Completes drop-off and parking improvements
- o More secure campus

Cons:

- o Does not complete Masterplan vision
- o No funds available to renovate existing learning center
- o Modernizes 30% +/- of core learning environment
- o Require Agri and Allps to temporarily move off campus (long term decisions to move programs back, pending)



 NEW CONSTRUCTION

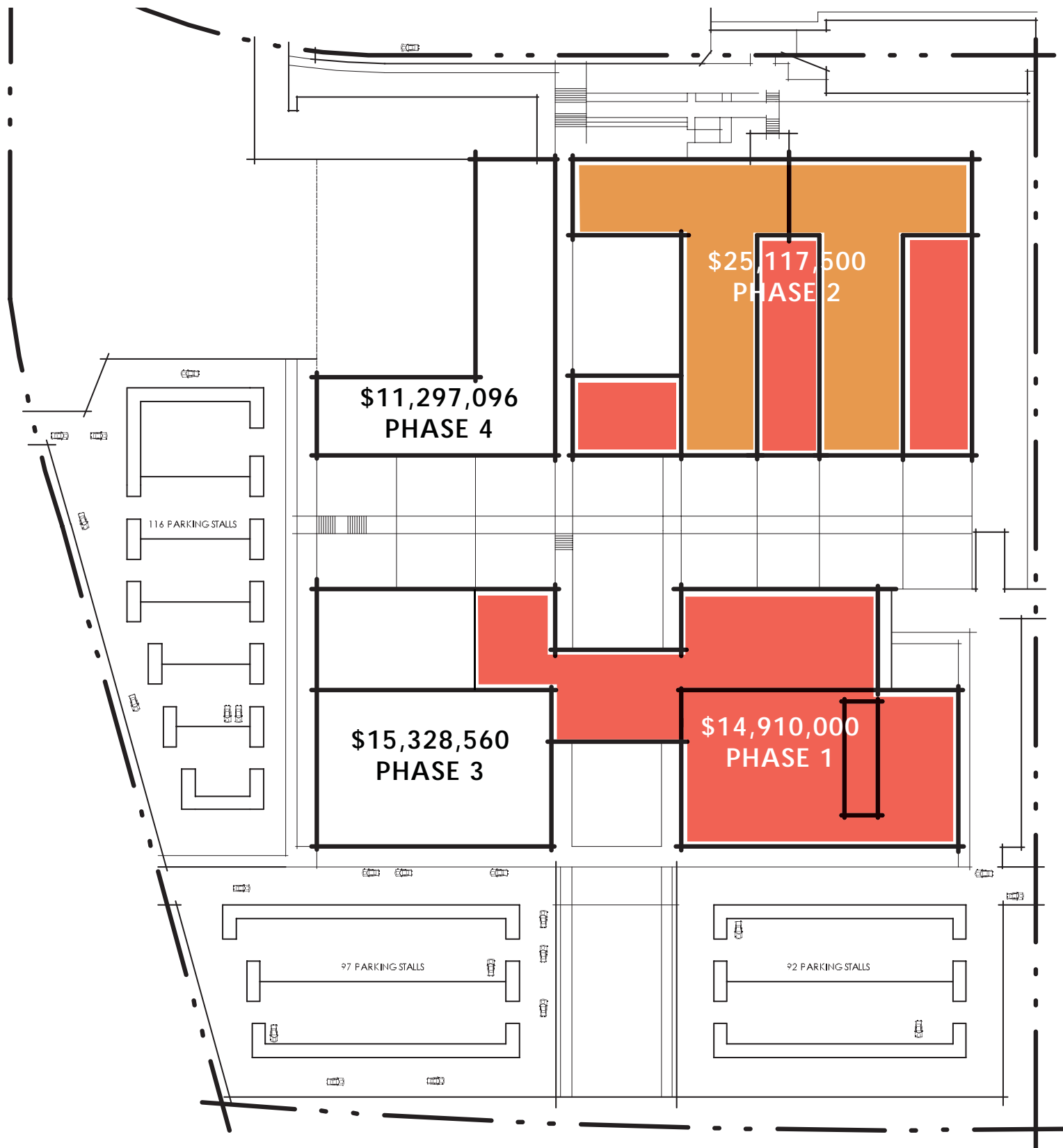
 RENOVATED BUILDING

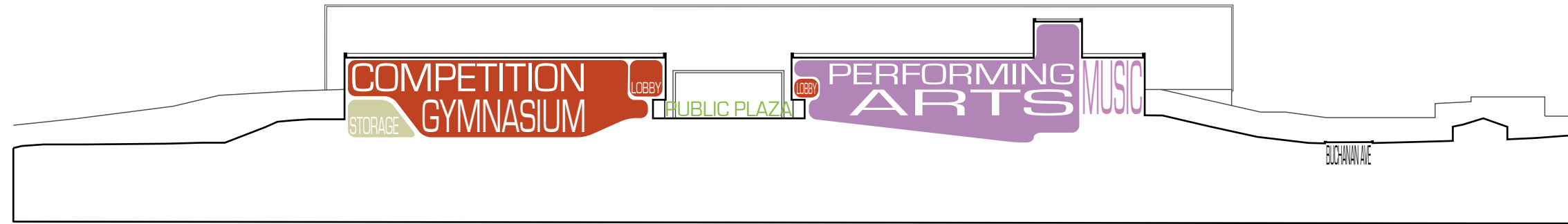
Pros:

- o Modernizes existing learning center and adds new SLC collaborative space for 1800+ students
- o New administration, community commons, and performing arts spaces
- o Modernizes 100% of existing core classroom space

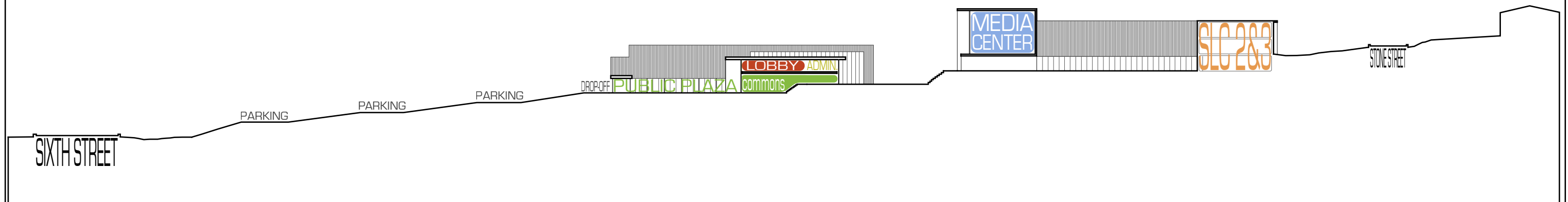
Cons:

- o No new P.E./Athletics spaces
- o Incomplete new 'front door'
- o Complex, disruptive, phasing
- o Incomplete Masterplan vision
- o More expensive Masterplan
- o More challenging to secure campus
- o Cannot complete drop-off and parking improvements
- o Require Agri and Allps to temporarily move off campus
(long term decisions to move programs back, pending)



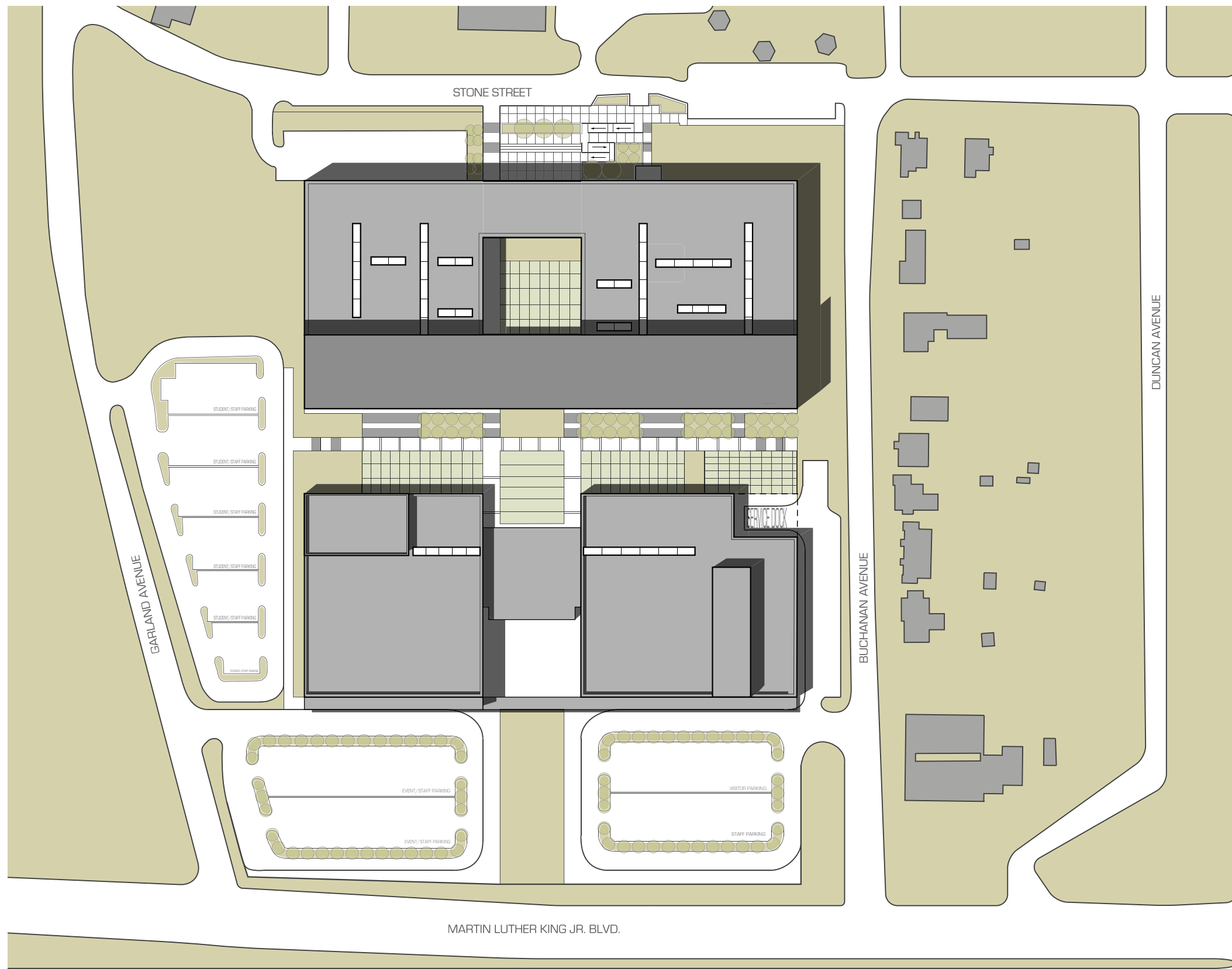


LATERAL SECTION



LONGITUDINAL SECTION

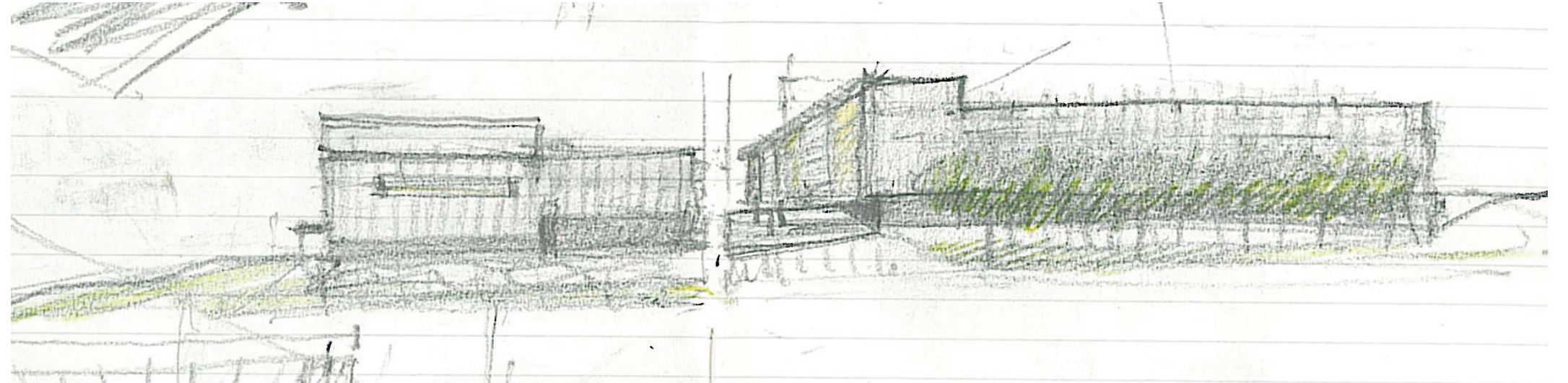


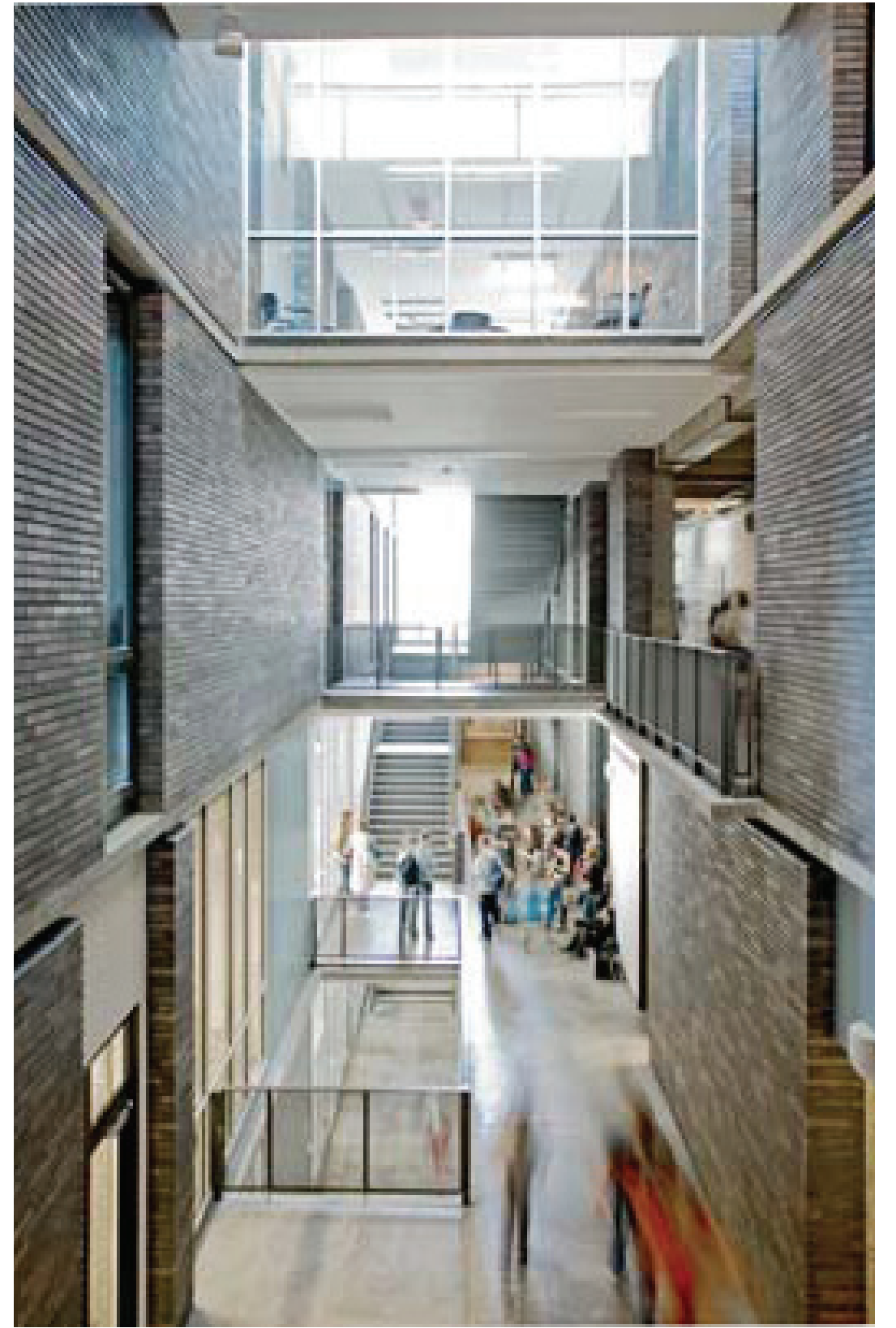
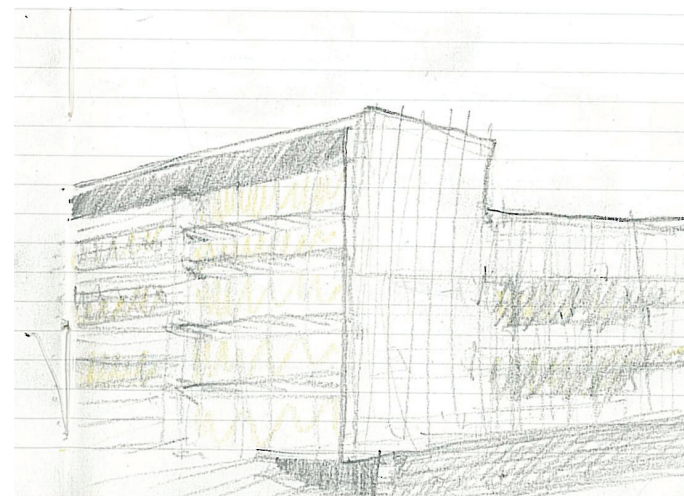
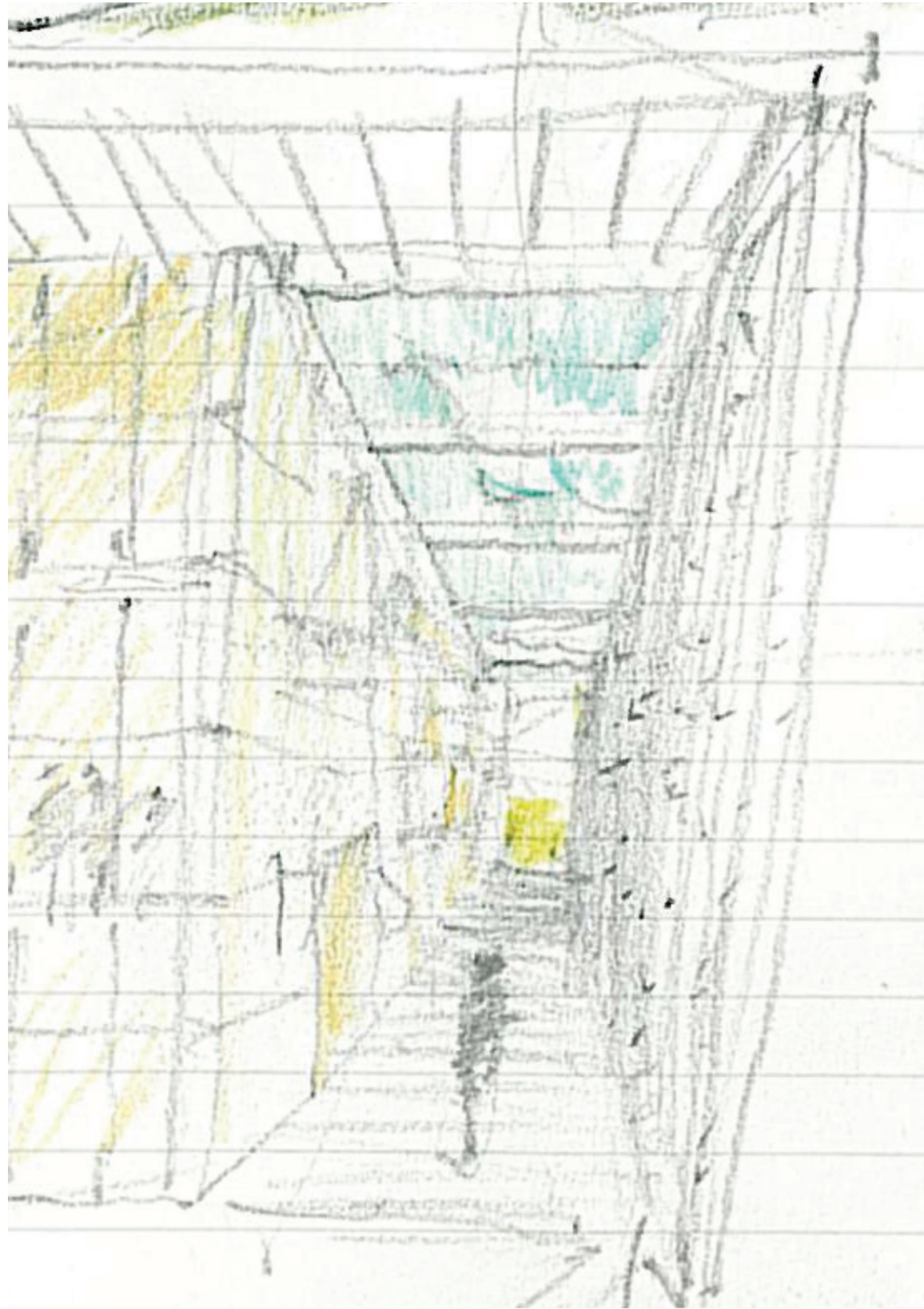


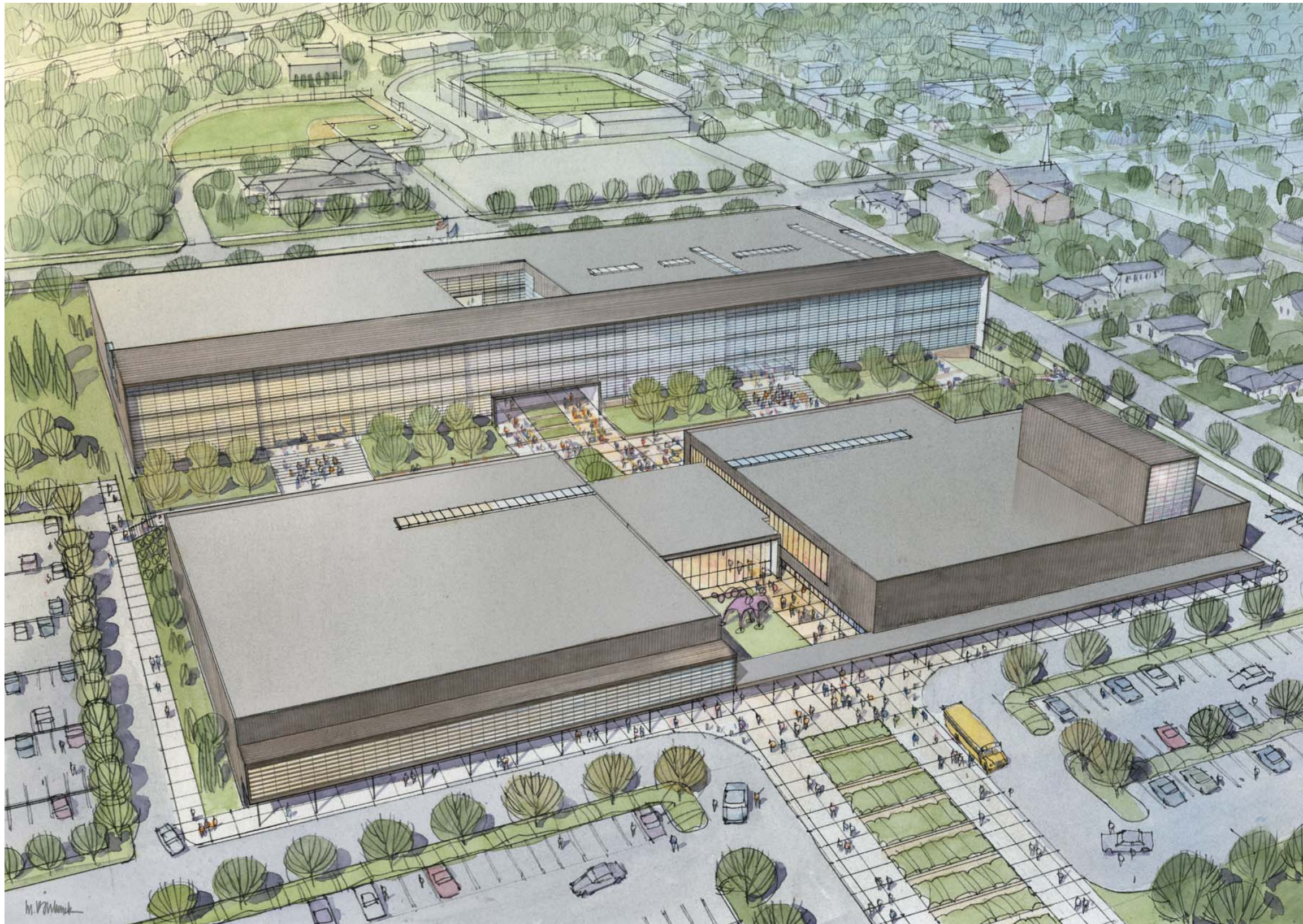
FAYETTEVILLE
HIGH SCHOOL
SITE PLAN











MARLON BLACKWELL ARCHITECT



DLR Group



FAYETTEVILLE HIGH SCHOOL
ADDITIONS + RENOVATIONS

PROPOSED MASTER PLAN AERIAL PERSPECTIVE

