



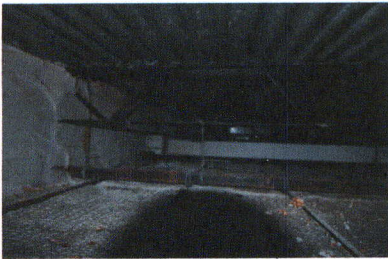
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UPPER LEVEL

The moisture problems on the upper level are a result of roof leaks and condensation from uninsulated pipes and ducts.

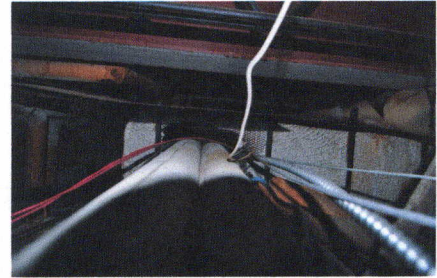
1. Lobby @ Entry and east end
The ceiling in this area is the original plaster. The plaster is stained and damaged by water intrusion. This plaster should be removed and new 2x2 lay in ceiling installed. The damage in this area is primarily from roof leaks. See 5 photos of this areas. Repairs include demo of plaster, replacement with 2x2 lay-in ceiling and 6 new light fixtures.

The cost of this remedy is \$2,800.00.



2. Lobby at west end
Mens Restroom Vestibule

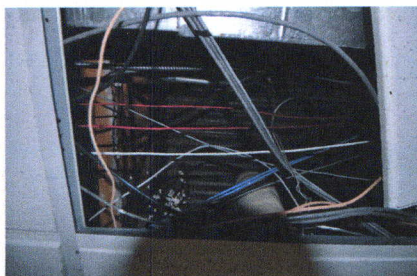
This area includes 3 different problem areas these are primarily from water piping and condensate problems. This area has most of the original plaster ceiling intact above the new lay-in ceiling. In order to facilitate future work above the ceiling it is recommended that the plaster be removed. The Men's toilet vestibule leak is caused by an uninsulated pipe and this must be repaired as well as new ceiling and new lights. The 2 other leaks are located in the hall and are both caused by condensate from piping. This area should have plaster ceiling removed as well as insulation and ceiling tiles replaced. There is also an abandoned fan coil unit that should be removed. The removal of abandoned wiring and cabling is included in this area.



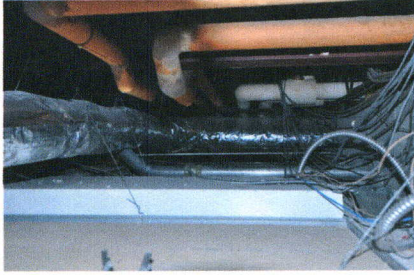
2A. Condensate leak from uninsulated pipe



2AA. Condensate leak from uninsulated pipe



2AAA. Condensate leak from uninsulated pipe



The cost for this remedy is \$2,090.00.



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3. West Corridor to Exterior

This area of the building has no plaster above the ceiling and very little piping. Stains on the ceiling are from condensate from bad insulation on ducts. Approx 40 s.f. of duct insulation should be replaced and 4 ceiling tiles. This includes the removal of abandoned wiring and cabling.

Hallway to west exit

This area has small stains on the ceiling caused by misc. roof leaks and some pipe leaks or condensation

Plaster occurs to the north is the northwest corner of this floor approximately 35'x30' (area 6)

Misc wires and pipes and duct occur in the areas

Misc wirings and abandoned equipment should be removed

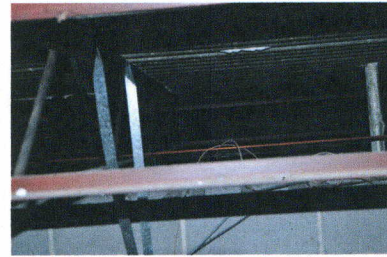
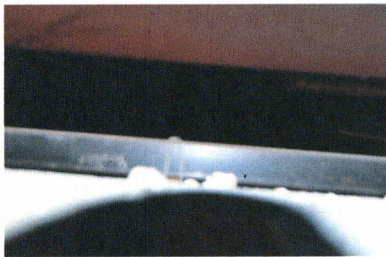
Duct should be inspected and insulation patched

Cost for this remedy is \$1,090.00.

4. Hallway in Administration
There is plaster in this area above the lay-in ceiling that should be removed.
Fiberglass insulation has been laid in this area - has been disturbed this should be replaced to provide insulation coverage
Several roof leaks are the source of most stained tile in this area.
There are also several pipe leaks in rear corridor on 4 pipes running length of building - approximately 300 lf of chilled water pipe insulation should be replaced
Stains on wall should be repainted and approximately 20 ceiling tiles should be replaced



- 4.A At this nearby location there is a pipe leak where approximately 5' of insulation should be replaced



- 4.AA Roof leak



- 4.AAA Condensation leak exists but there is no plaster toward the northeast corner of the building



The cost for this remedy is \$2,600.00.



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5. Administration Area
Gay's office is the location of a major roof leak, so large that a trash can is placed above the ceiling to catch water
Plaster ceiling remains above lay-in located in the southeast corner of the building in approximately 2500 sf area. This area has fiberglass insulation laying on the lay-in ceiling tiles which should be replaced for proper insulation coverage.



- 5.A Chief Corbin's office
There is a roof leak in this room but also evidence of a condensate leak from uninsulated piping. Reinsulated piping and replace ceiling tiles.



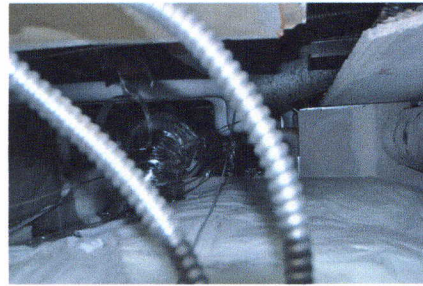
- 5.AA Conference Room
All plaster above ceiling
No leaks or pipe problems



5.AAA Chiefs Office

There is plaster above the lay-in ceiling in this entire area.

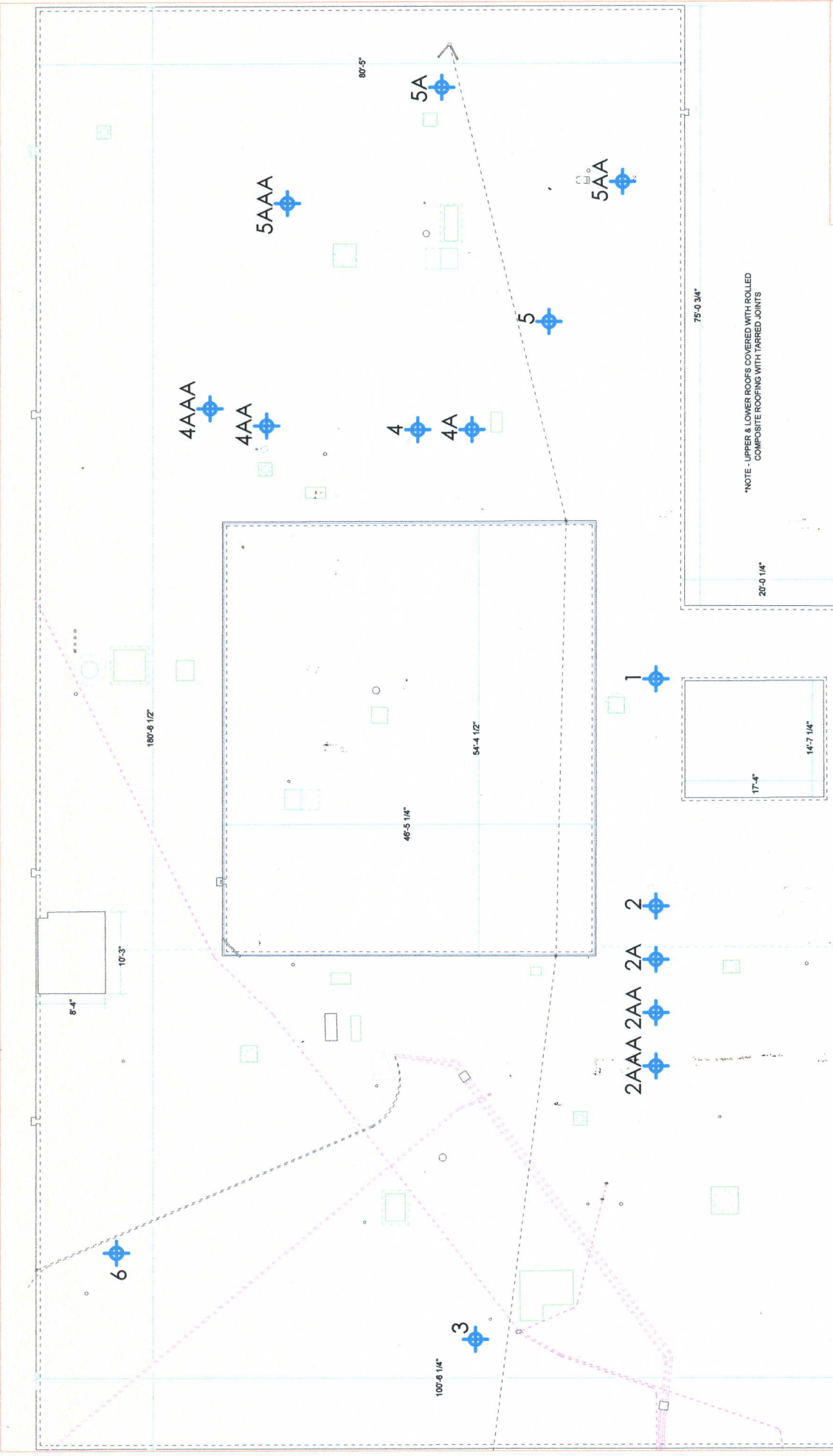
Much of the roof deck has water damage and evidence of many roof leaks. No stained ceiling tiles, but much evidence of leaks implies that tiles are replaced regularly. Fiberglass insulation lays on the lay-in ceiling and should be replaced for proper coverage. Abandoned wiring and cable should be removed in this area



Cost of this remedy is \$1,950.00

6. Northwest corner of top floor located in Homicide offices.
This area has primarily condensate leaks from piping and duct in the area.
- 6.A Plaster in this area
- 6.AA Pipes running down corridor have water stained under tem. Old insulation, joints and corners are deteriorated and should be replaced.
- 6.AAA A lot of abandoned cabling above the ceiling that should be removed.

The cost for this remedy is \$2,000.00.



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*NOTE - UPPER & LOWER ROOFS COVERED WITH ROLLED COMPOSITE ROOFING WITH TARRED JOINTS

LITTLE ROCK POLICE HEADQUARTER'S BUILDING UPPER LEVEL PLAN ABOVE CEILING INVESTIGATION
SCALE: 3/16" = 1'-0"



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LOWER LEVEL

The moisture problems on the lower level are from 2 sources. They are primarily from leaking pipes and ducts and secondly and more importantly from intrusion of humidity in the building combined with mechanical equipment that is not operating properly.

#7. Elevator Lobby

A duct with missing insulation is dripping in an east/west line in the corridor. Reinsulate/patch insulation in approx. 5 locations with 6 s.f. of insulation in each patch and replace 10 ceiling tiles. Cost for this remedy is \$290.00.



#8. Crime Scene Analysis/ Public Affairs

Some bad pipe insulation and hvac equipment malfunction resulted in discoloration of ceiling tile from water and mold. Repair insulation and replace tiles. Patch/replace 5 locations with 65 s.f. of insulation and replace 10 ceiling tiles. Cost to remedy is \$390.00.

#9. East/West Hallway

In the corridor a duct with damaged insulation and a domestic water line leaking condensate is causing ceiling tile damage in 4 different areas. Cost to remedy is \$375.00.



H+W

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#10. Crime Scene CSSO

Three areas of leaks occur under damaged duct insulation. Replace 30 sf of duct insulation. Wall grille has mold apparent. See 2 attached pictures showing grille. Mold is apparent when cold air

meets humidity on ceiling and walls.

Water leaks and mold requires replacement of 30 ceiling tiles and cleaning and painting of walls. Cost to remedy is \$670.00.



#11. Crime Scene Lab

There is missing insulation on piping along the north wall.

Replace 1.2 s.f. pipe insulation and replace 6 ceiling tiles. Cost to remedy is \$180.00.



#12. Break Room across from Lab

There are 2 condensate leaks above the ceiling. Repair/replace 8 lf of pipe insulation and replace 3 ceiling tiles. Cost to remedy this problem is \$95.00



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#13. Evidence Processing

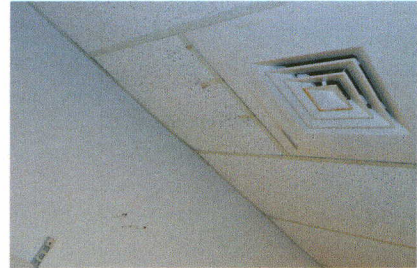
There are 5 stained ceiling tile locations in this area. Approximately 10 s.f. of pipe insulation and 10 new ceiling tiles are required to be repaired/replaced.

Cost to remedy is \$230.00.

#14. Latent Fingerprints

This area has some humidity problems which are shown by mold growth in ceiling tiles need grilles and on walls that are hit by cold air. Limiting the humidity from crawl space and verification of hvac operation needed.

There are 3 apparent above ceiling leaks in this areas that require replacement of 5 ceiling tiles./ Approximately 6 sf of pipe insulation is required to stop condensate leaks.
Cost for this remedy is \$125.00.



#15. Crawl space

The unfinished crawl space has exposed earth along the south side and water/moisture is free to seep into this entire end of the building. There are also open sumps and hvac condensation present to add to the humidity even in dry weather. This can never be kept dry but openings should be sealed between this area and the adjacent rooms to lower humidity in those areas. Sealing of this wall can be accomplished by adding sheet moisture barrier on walls, sealant on penetrations and gasketing of doors to reduce the mold problem.

Cost to install vapor barrier between crawl space and occupied rooms would be \$3500.00.

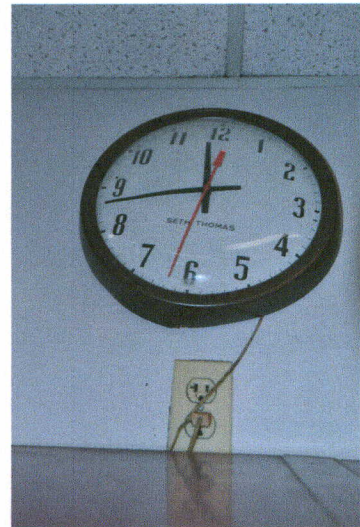




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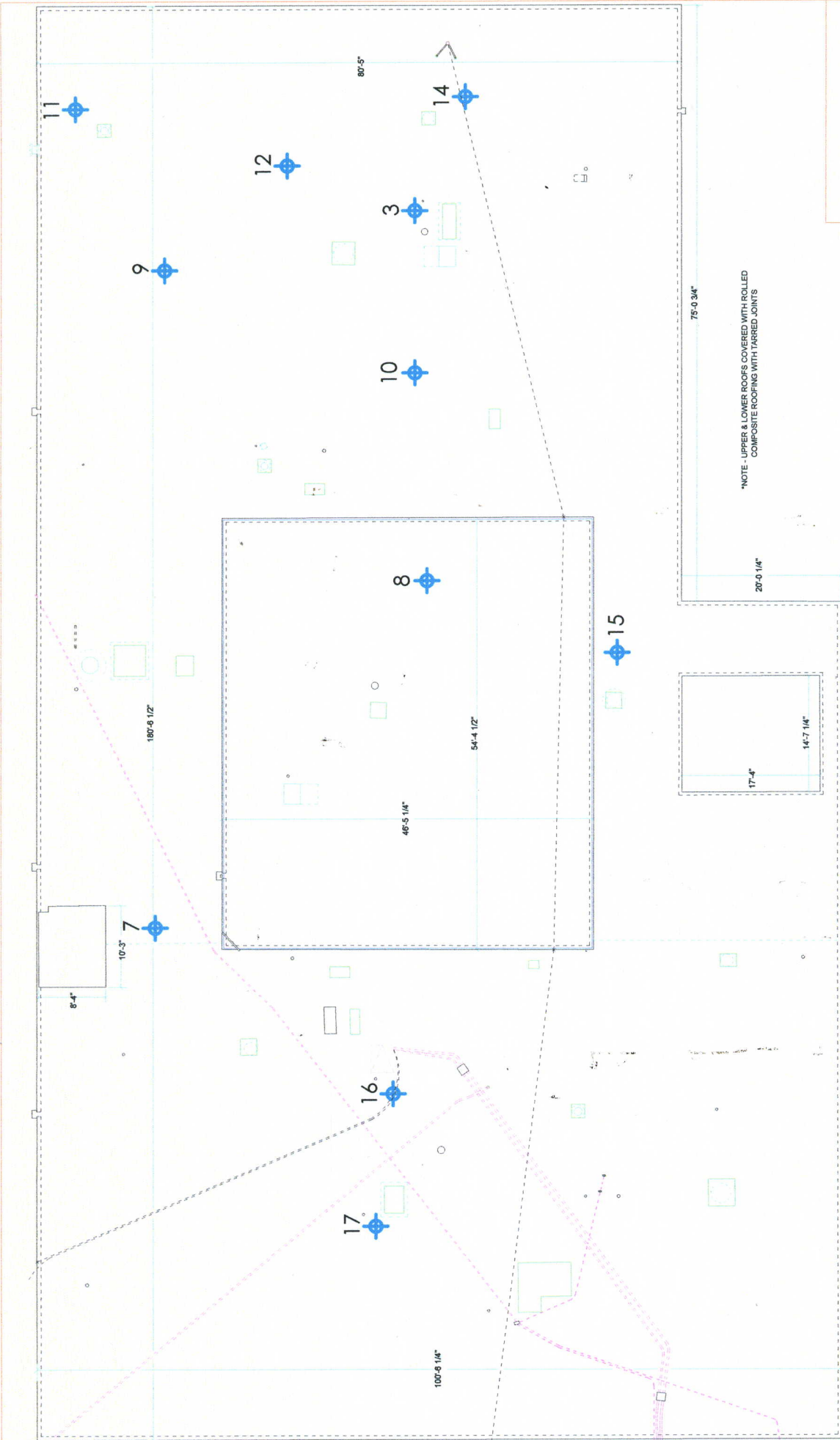
#16. Men's Locker


This locker room has lay-in ceiling which provides a growth area for mold in this high moisture level environment. The humidity from the showers and from the adjacent crawl space meets the air from a malfunctioning hvac system to grow mold around air grilles and penetrating in walls. See photo of grille in Men's Locker and clock receptacle on common wall with the crawl space. This area also has return air problems and this area restriction adds to the problems in this area. Replace 25 ceiling tiles and install transfer grilles in doors. Cost for this remedy is \$575.00.



#17. Workout Room

This exercise room has lay-in ceiling and seems to be on the same hvac unit as the Locker Rooms. HVAC seems to be functioning well with cold air meeting levels of high humidity to form conditions for mold. Humidity must be controlled and hvac checked for proper function. Cost to replace ceiling tiles is \$120.00.




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LITTLE ROCK POLICE HEADQUARTER'S BUILDING LOWER LEVEL PLAN ABOVE CEILING INVESTIGATION
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Summary

This report is the second phase of a three phase program to eliminate water and humidity from the interior of the Little Rock Police Building. The first phase was to repair the leaking roof and increase roof insulation and roof reflectivity and that phase is currently underway. This second phase includes repairing interior problems including condensate leaks from ducts and pipes, limiting intrusion of humidity and some basic improvement of air flow as well as clearing the plenum space of obstacles and unused materials. The third phase will involve dealing with the mechanical equipment problems within the building.

The cost of this second phase of work is \$12,500 for the work on the Upper Level of the Building and \$6,550 for the work on Lower Level for a total cost of \$19,050. This cost breaks down into 5 major cost areas which are the removal of abandoned existing materials above the ceiling, \$3,500, remove abandoned wiring and cabling above the ceiling \$3,000, new pipe and duct insulation \$ 3,600, new vapor barriers \$ 3,500 and new ceiling system and ceiling mounted items \$ 5,500.