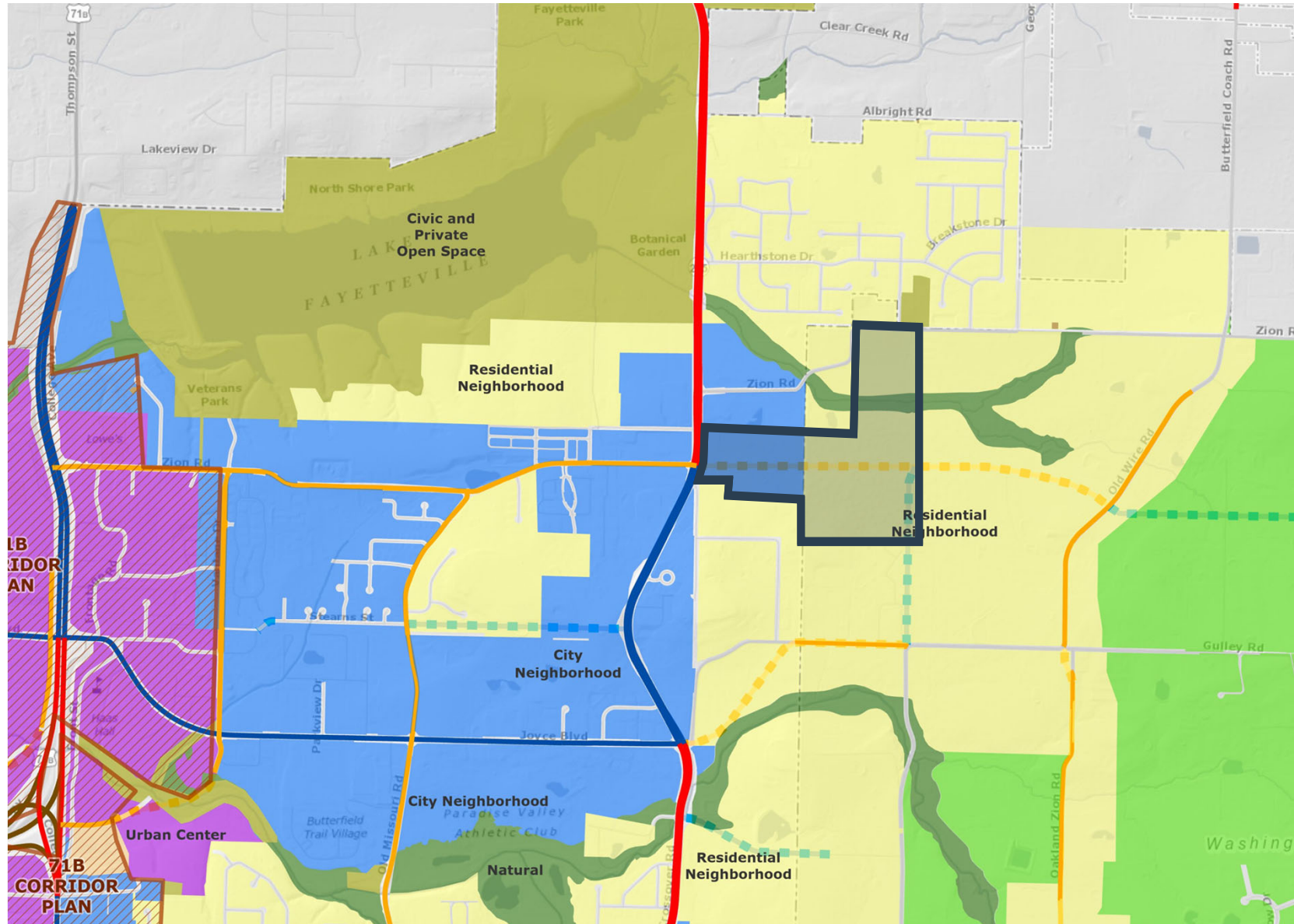




CHANDLER CROSSING

2020-0959 ANX
2020-000001
3435 E. ZION RD

2020-0960 RPZD
2020-000002:
Residential Planned
Zoning District



Future Land Use Map Designations (contd.)

Residential Neighborhood Areas are primarily residential in nature and support a wide variety of housing types of appropriate scale and context: single-family, duplexes, rowhouses, multifamily and accessory dwelling units. Residential Neighborhood encourages highly connected, compact blocks with gridded street patterns and reduced building setbacks. It also encourages traditional neighborhood development that incorporates low-intensity non-residential uses intended to serve the surrounding neighborhoods, such as retail and offices, on corners and along connecting corridors. This designation recognizes existing conventional subdivision developments which may have large blocks with conventional setbacks and development patterns that respond to features of the natural environment. Building setbacks may vary depending on the context of the existing neighborhood. The following guiding policies are designed to encourage future and existing residential neighborhoods to be or become more complete, compact and connected:

1. Encourage a block and street layout that promotes walkable and bicycle friendly road designs with slow vehicular design speeds.
2. Utilize principles of traditional residential urban design to create compatible, livable and accessible neighborhoods.
3. Eliminate designs elements that prohibit complete, compact and connected neighborhoods.
4. Protect and restore Fayetteville's outstanding residential architecture of all periods and styles.
5. Encourage the scale of new development to be compatible in use and proportionality between a variety of residential and non-residential uses.
6. Site new residential areas accessible to roadways, sidewalks, trails, transit, parklands, schools, existing utilities, and retail commercial goods and services.
7. Minimize through traffic on minor residential streets, while providing connections between neighborhoods to encourage openness and neighborliness.
8. Continue to encourage context-sensitive streets, allowing for efficient access to commercial residential areas for vehicles, pedestrians and cyclists.

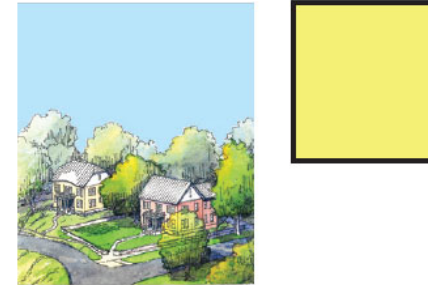


Figure 12.1 - Dover-Kohl Development Transect



Photo 12.6 - Lakewood Subdivision



Photo 12.7 - Olive & Maple





Photo 12.8 - Charleston Place



Photo 12.11 - Neighborhood Development



Photo 12.12 - Wilson Park



Photo 12.9 - Monterrey Apartments



Photo 12.10 - Brookhaven Subdivision



Future Land Use Map Designations (contd.)

City Neighborhood Areas are more densely developed than residential neighborhood areas and provide a mix of non-residential and residential uses. This designation supports the widest spectrum of uses and encourages density in all housing types, from single-family to multi-family. Non-residential and commercial uses are primarily located at street intersections and along major corridors. Ideally, commercial uses would have a residential component and vary in size, variety and intensity. The street network should have a high number of intersections creating a system of small blocks with a high level of connectivity between neighborhoods. Building setbacks and landscaping are urban in form with street trees typically being located within the sidewalk zone.

City Neighborhood Areas encourage complete, compact and connected neighborhoods and are intended to serve the residents of Fayetteville, rather than a regional population. While they encourage dense development patterns, they do recognize existing conventional strip commercial development and their potential for future redevelopment in a more efficient urban layout. The guiding policies for City Neighborhood Areas are:

1. Protect adjoining properties from the potential adverse impacts associated with non-residential uses adjacent to, and within, residential areas with proper mitigation measures that address scale, massing, traffic, noise, appearance, lighting, and drainage.
2. Provide non-residential uses that are accessible for the convenience of individuals living in residential districts and where compatibility with existing development patterns is desired.
3. Reduce the length and number of vehicle trips generated by residential development by enhancing the accessibility to these areas. Walkability should be integral to the design of the street and neighborhood shopping should be within a reasonable walking distance from residential uses.
4. Encourage developers to designate and plan for mixed-use corners at the time of approval to properly plan for accessibility to these areas.
5. Encourage pedestrian-friendly mixed-use buildings with transparent glass for commercial uses at street level and building entrances that address and connect to the street and sidewalk.
6. Encourage a block and street layout that promotes walkable, bicycle friendly street designs with slow design speeds.

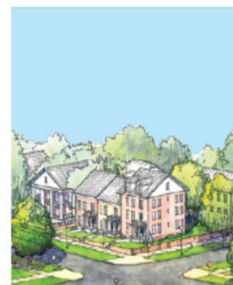


Figure 12.1 - Dover-Kohl Development Transect



Photo 12.13 - Three Sisters on Dickson Street



Photo 12.14 - Chestnut Lofts



7. Encourage mixed-use development that is sensitive to surrounding residential uses and allows for day and night utilization of available parking.
8. Utilize principles of traditional residential urban design to create compatible, livable and accessible neighborhoods.
9. Encourage properties to redevelop in an urban form utilizing form-based zoning designations.
10. Protect and restore Fayetteville's outstanding residential architecture of all periods and styles.
11. Utilize the Master Street Plan and incorporate bike lanes, parkways and landscaped medians to preserve the character of the City and enhance the utilization of alternative modes of transportation.
12. Manage non-residential development within and adjoining residential neighborhoods to minimize nuisances.
13. Minimize through traffic on minor residential streets, while providing connections between neighborhoods to encourage openness and neighborliness.



Photo 12.16 - Summerhill Subdivision



Photo 12.17 - Hill Place



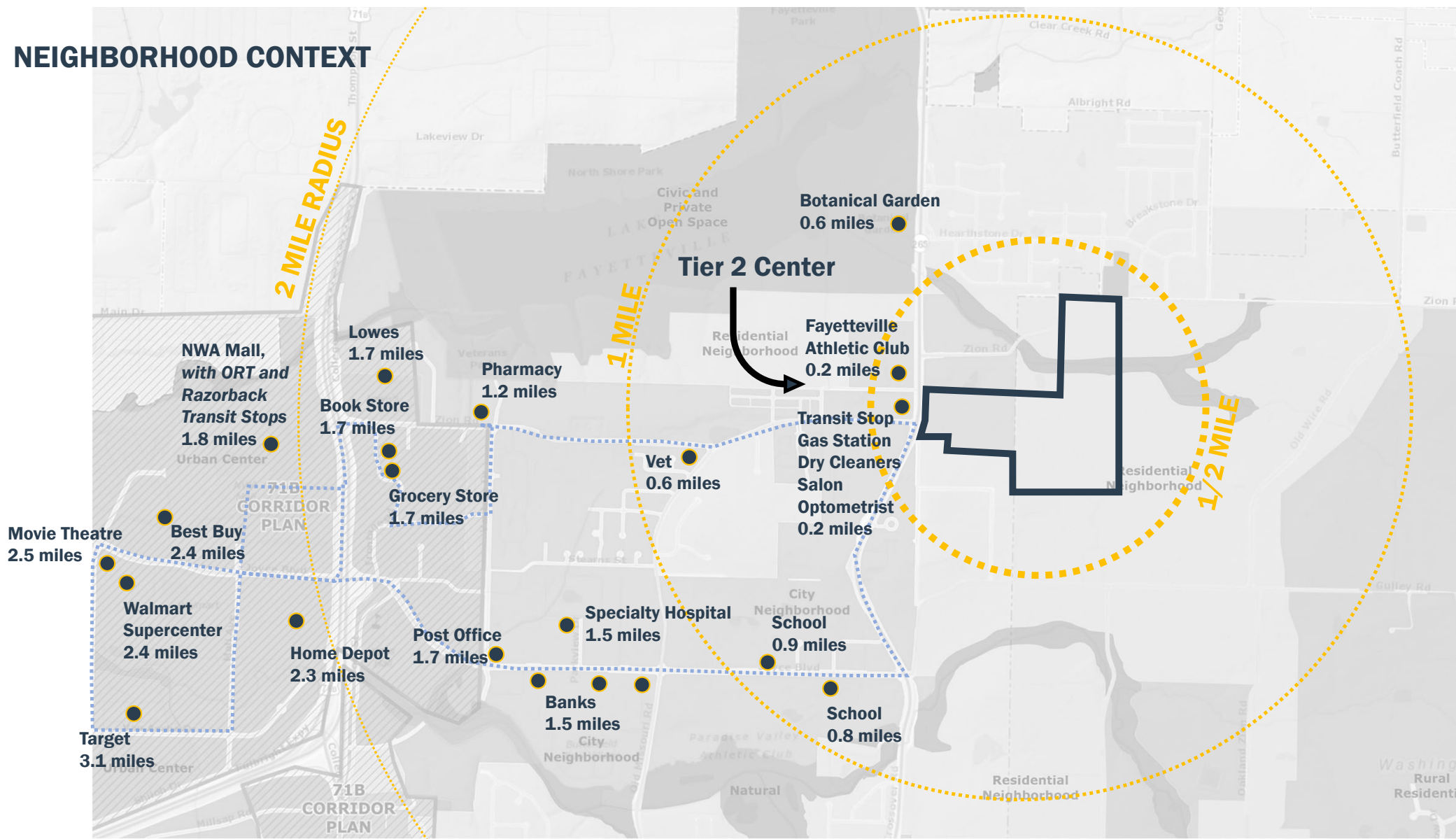
Photo 12.15 - Girl Scouts Building



Photo 12.18 - Sycamore Apartments



NEIGHBORHOOD CONTEXT



1. Lot sizes / housing types too segregated

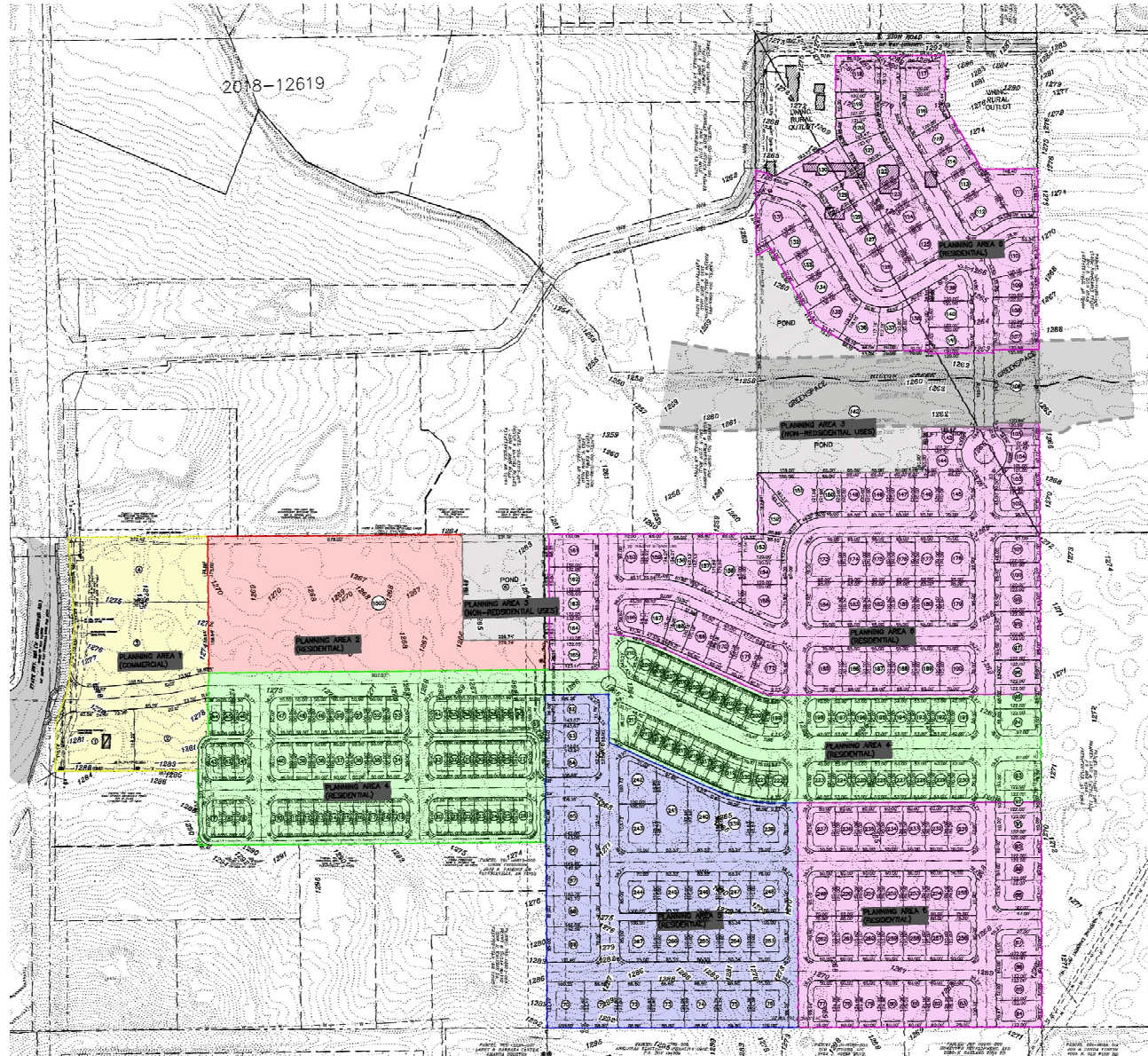
1. Lot sizes / housing types too segregated

2. Loss of agricultural character on Zion / access over 1 lane bridge

3. Too little civic / conservation area

4. Water quality concerns from phosphorus run off into Lake Fayetteville

5. Suburban sprawl / no compelling neighborhood feature



REVISED MASTER PLAN RESPONSES TO FEEDBACK

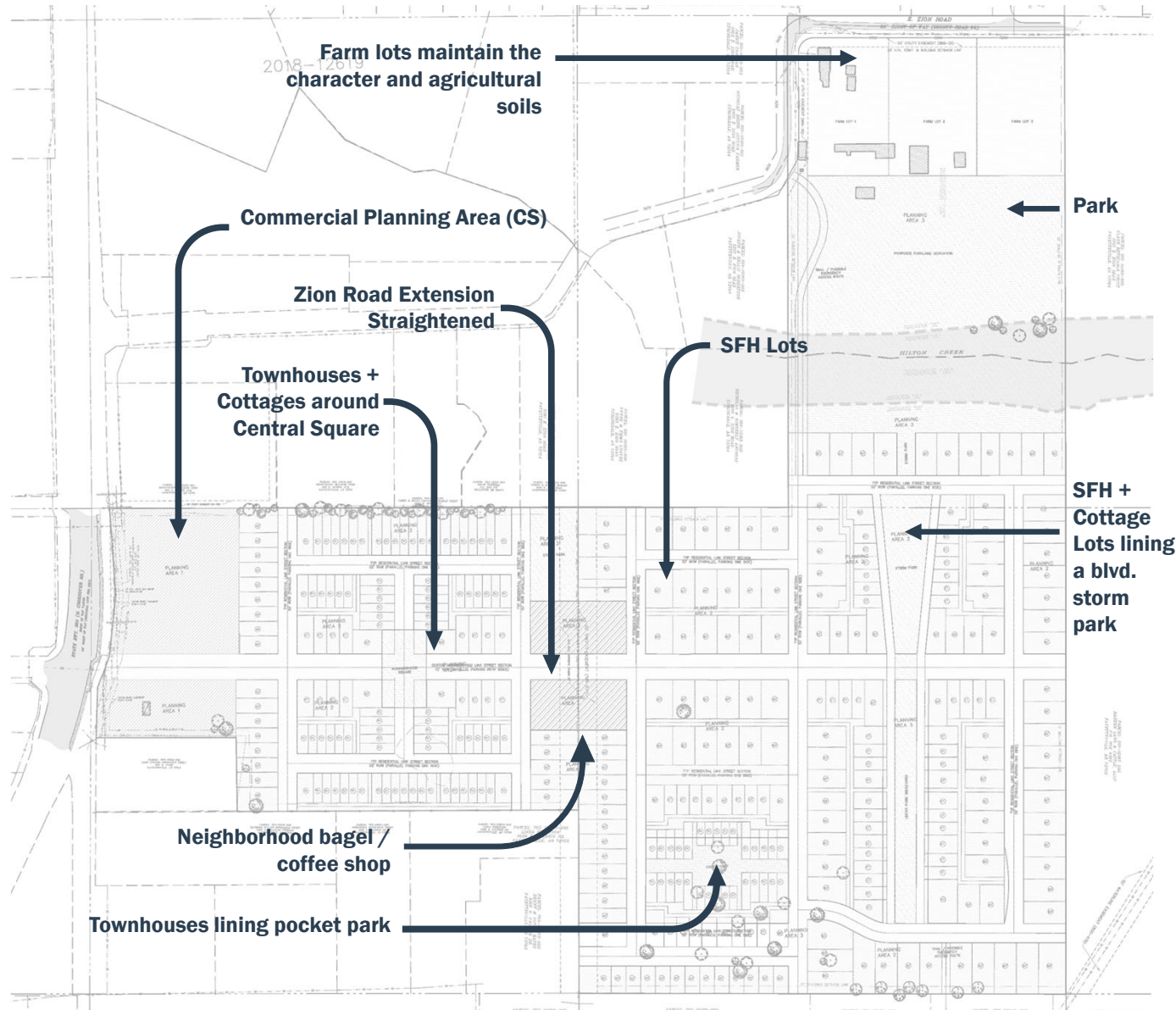
1. Lot sizes / housing types too segregated
LOT SIZES / HOUSING TYPES DIVERSIFIED.
RESIDENTIAL USES IN ONE PLANNING AREA

2. Loss of agricultural character on Zion /
access over 1 lane bridge

3. Too little civic / conservation area

4. Water quality concerns from
phosphorus run off into Lake Fayetteville

5. Suburban sprawl / no compelling
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REVISED MASTER PLAN RESPONSES TO FEEDBACK

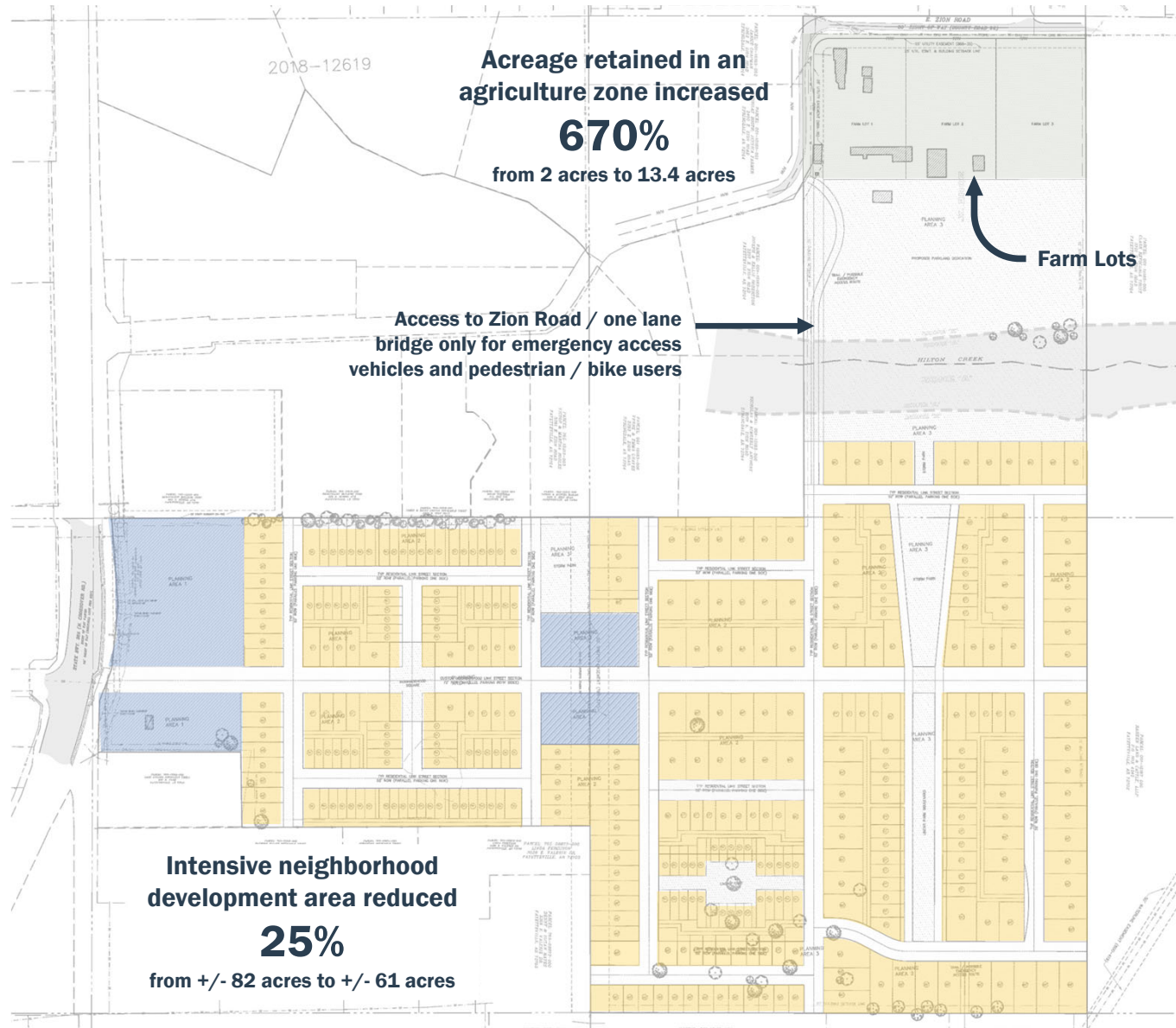
1. Lot sizes / housing types too segregated
LOT SIZES / HOUSING TYPES DIVERSIFIED.
RESIDENTIAL USES IN ONE PLANNING AREA

2. Loss of agricultural character on Zion /
access over 1 lane bridge
**FARM LOTS FRONTING ZION, WITH ONLY
SECONDARY FIRE / TRAIL ACCESS FROM
NEIGHBORHOOD TO ZION ROAD**

3. Too little civic / conservation area

4. Water quality concerns from
phosphorus run off into Lake Fayetteville

5. Suburban sprawl / no compelling
neighborhood feature



REVISED MASTER PLAN RESPONSES TO FEEDBACK

1. Lot sizes / housing types too segregated
LOT SIZES / HOUSING TYPES DIVERSIFIED.
RESIDENTIAL USES IN ONE PLANNING AREA

2. Loss of agricultural character on Zion /
access over 1 lane bridge
**FARM LOTS FRONTING ZION, WITH ONLY
SECONDARY FIRE / TRAIL ACCESS FROM
NEIGHBORHOOD TO ZION ROAD**

3. Too little civic / conservation area
OPEN SPACE DOUBLED (3.8 TO 7.8 ACRES)
**ACREAGE IN RA INCREASED SEVENFOLD
(2 TO 13.4 ACRES)**

4. Water quality concerns from
phosphorus run off into Lake Fayetteville

5. Suburban sprawl / no compelling
neighborhood feature



REVISED MASTER PLAN RESPONSES TO FEEDBACK

1. Lot sizes / housing types too segregated
LOT SIZES / HOUSING TYPES DIVERSIFIED.
RESIDENTIAL USES IN ONE PLANNING AREA

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FARM LOTS FRONTING ZION, WITH ONLY
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NEIGHBORHOOD TO ZION ROAD

3. Too little civic / conservation area
OPEN SPACE DOUBLED (3.8 TO 7.8 ACRES)
ACREAGE IN RA INCREASED SEVENFOLD
(2 TO 13.4 ACRES)

4. Water quality concerns from
phosphorus run off into Lake Fayetteville
INCREASED STORMWATER TREATMENT
INTRODUCED IN PARK SPACE, WITH FOCUS
ON PHOSPHORUS-REMOVING PLANTINGS

5. Suburban sprawl / no compelling
neighborhood feature



one A CURRENT FLOOD CONDITIONS

Copper Creek run off flowing straight through detention ponds and on to neighboring properties, causing stream back up and structure flooding outside the floodway

AREA OF MINIMAL FLOOD HAZARD

Underground Copper Creek / C.O.F. storm sewer daylights into eroding ditch currently in County

Copper Creek run off causing significant stream back up as it enters Hilton Creek

Poor condition one lane bridge causing stream back up

Zone A

Channelized and bermed stream trapped in banks, unable to utilize natural floodplain

Collapsed "donkey bridge" causing stream to leave its banks

existing overland flow (floods in heavy storm)

AREA OF MINIMAL FLOOD HAZARD

[illegible]

The map displays Hilton Creek and surrounding areas. A dashed line indicates the 'AREA OF MINIMAL FLOOD HAZARD'. A red dashed line points to a location with the text: 'Continued drainage issues until funding stream for detention pond retrofit with extended storage can be found'. A blue line represents the creek, with a section labeled 'Zone A' and 'Hilton Creek'. A green area is labeled 'detention'. A blue area is labeled 'Existing ditch stabilized and storm flows dissipated through park land'. A green area is labeled 'Stream widened and wetland shelves created'. A green area is labeled 'Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance'. A green area is labeled 'moved'. A green area is labeled 'sough pond'. A green area is labeled 'Old Wire Rd'.

The map illustrates the Hilton Creek area with several key features and detention zones highlighted. A large, irregularly shaped area is shaded in light blue, representing the creek's flow path. A specific section of this area is labeled "Zone A" and is further designated as a "detention" zone. A dark blue oval within this zone is labeled "detention". A green line, likely a ditch or road, runs vertically through the center of the map. A red dashed line is visible in the upper left corner. A green arrow points from the text "Existing ditch stabilized and storm flows dissipated through park land" to a green line. A blue arrow points from the text "Stream widened and wetland shelves created" to the blue-shaded area. A blue arrow points from the text "Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance" to the "detention" zone. The text "Hilton Creek" is written in a light blue font along the creek's path. The text "Zone A" is written in a dark blue font within the detention zone. The text "detention" is written in a dark blue font within the dark blue oval. The text "Existing ditch stabilized and storm flows dissipated through park land" is written in a dark blue font. The text "Stream widened and wetland shelves created" is written in a dark blue font. The text "Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance" is written in a dark blue font. The text "Hilton Creek" is written in a light blue font. The text "Zone A" is written in a dark blue font. The text "detention" is written in a dark blue font.

Existing ditch stabilized and storm flows dissipated through park land

Stream widened and wetland shelves created

Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance

Hilton Creek

Zone A

detention

Stream widened and wetland shelves created

Zone A

detention

Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance

Hilton Creek

Old Wire Rd

Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance

The map shows Hilton Creek flowing from left to right. A grey rectangular area labeled 'Zone A' is situated along the creek. Within this zone, a dark grey oval is labeled 'detention'. A blue line representing the stream widens and forms shelves on either side of the detention pond. Arrows point from text labels to these features.

Stream widened and wetland shelves created

detention

Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance

Hilton Creek

Zone A

Old Wire Rd

Parkland dedication and development detention planted in native tallgrass mix, likely with annual hay contract for maintenance

development detention
planted in native tallgrass
mix, likely with annual hay
contract for maintenance

REVISED MASTER PLAN RESPONSES TO FEEDBACK

1. Lot sizes / housing types too segregated
LOT SIZES / HOUSING TYPES DIVERSIFIED.
RESIDENTIAL USES IN ONE PLANNING AREA

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FARM LOTS FRONTING ZION, WITH ONLY
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OPEN SPACE DOUBLED,
FROM 3.8 ACRES TO 7.8 ACRES

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phosphorus run off into Lake Fayetteville
INCREASED STORMWATER TREATMENT
INTRODUCED IN PARK SPACE, WITH FOCUS
ON PHOSPHORUS REMOVING PLANTINGS

5. Suburban sprawl / no compelling
neighborhood feature

MASTER PLAN REIMAGINED IN A
COMPACT, COMPLETE, AND CONNECTED
TRADITIONAL PATTERN NEIGHBORHOOD

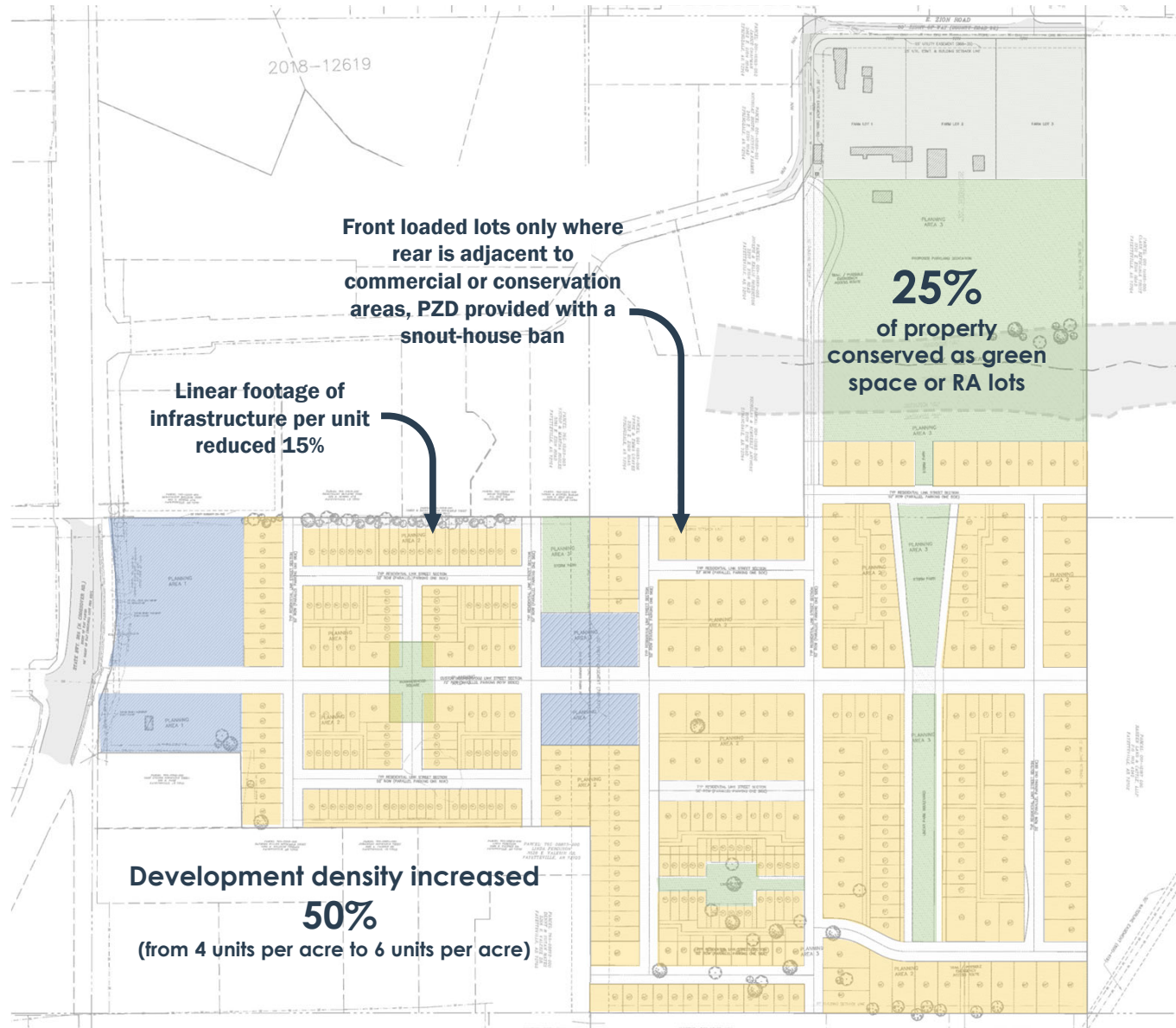




Figure 3.4 - Rural



Figure 3.5 - Suburban Sprawl



Figure 3.6 - Traditional Development

