



## Bentonville Pet Resource Center

1312 Melissa Drive

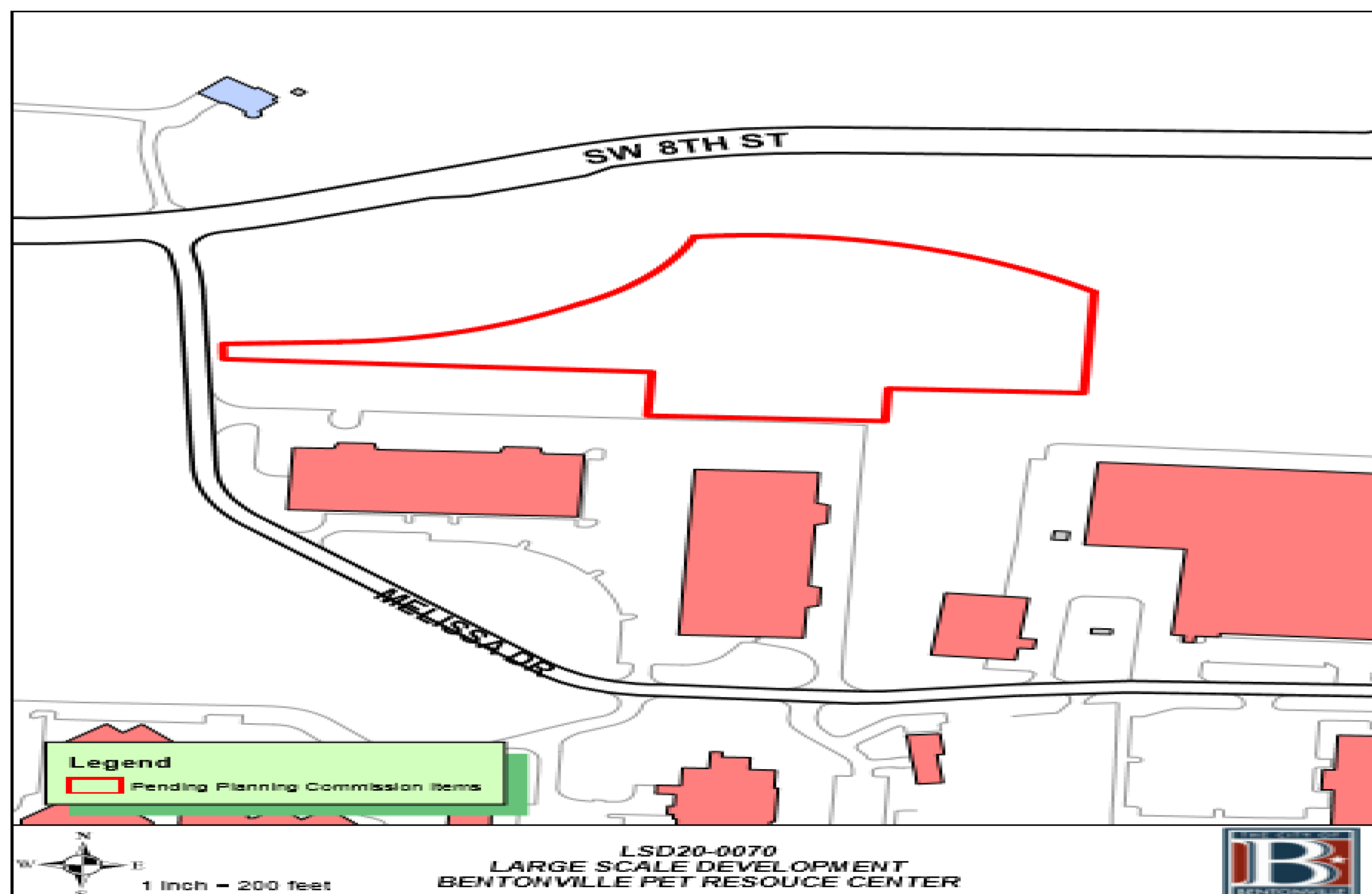
PC Date: 1/19/2021

Reviewer: Jon Stanley, Senior Planner

<b>Project Number</b>	LSD20-0070
<b>Applicant / Current Owner</b>	Best Friends Animal Society 5001 Angel Canyon Road Kanab, UT 84741
<b>Site Area</b>	+/- 6.11 acres
<b>Current Zoning</b>	A-1, Agricultural
<b>Future Land Use Map Designation</b>	Light Industrial
<b>Development Type / Use</b>	Animal Services Facility

<https://arcg.is/08HvK8>

### Location Map



### Property Description

The property is located at 1312 Melissa Drive. The property's current zoning designation is A-1, Agricultural with a Future Land Use Map classification of Light Industrial.

### Project Details

A large scale development to construct an approximately 12,000 square foot animal services facility. The development requires a total of forty-four (44) parking spaces and forty-six (46) are being provided. Ingress/egress will be from a single curb cut onto Melissa Drive. Sidewalk, landscaping, grading/drainage, and site amenities are in accordance with the development requirements.

The primary exterior materials of the building consist of architectural metal panel, glass, cementitious plaster, and Accoya Wood cladding. The structure is a total of 33.5 feet in height at its tallest point.

### Projected Traffic Impact

This development has the potential to impact traffic in the area. However, the site's compliance with the City of Bentonville's Access Management and Parking Standards should accommodate any increases in traffic to the area.

### Waivers

The applicant has requested one waiver:

- A waiver from Article 1100, Section 1100.21.e, Building Materials, of the Land Development Code. The Code requires that a minimum of two primary materials be utilized for the two street facing façades (west & north), constituting a minimum of 75% of the wall area. The applicant is requesting a 10% waiver to the requirement for both the north and west facing facades. They have 65% of the wall areas comprised of two primary materials.

### Conclusion

Animal kennels, shelters, and clinics are all allowable uses by right in the A-1, Agricultural zoning district. The proposed large scale development does not meet the minimum requirements of the Land Development Code due to the waiver request. However, staff finds the proposed building material meets the intent of the Land Development Code by providing quality building materials. Therefore, Planning staff recommends approval of both the waiver request and the large scale development.

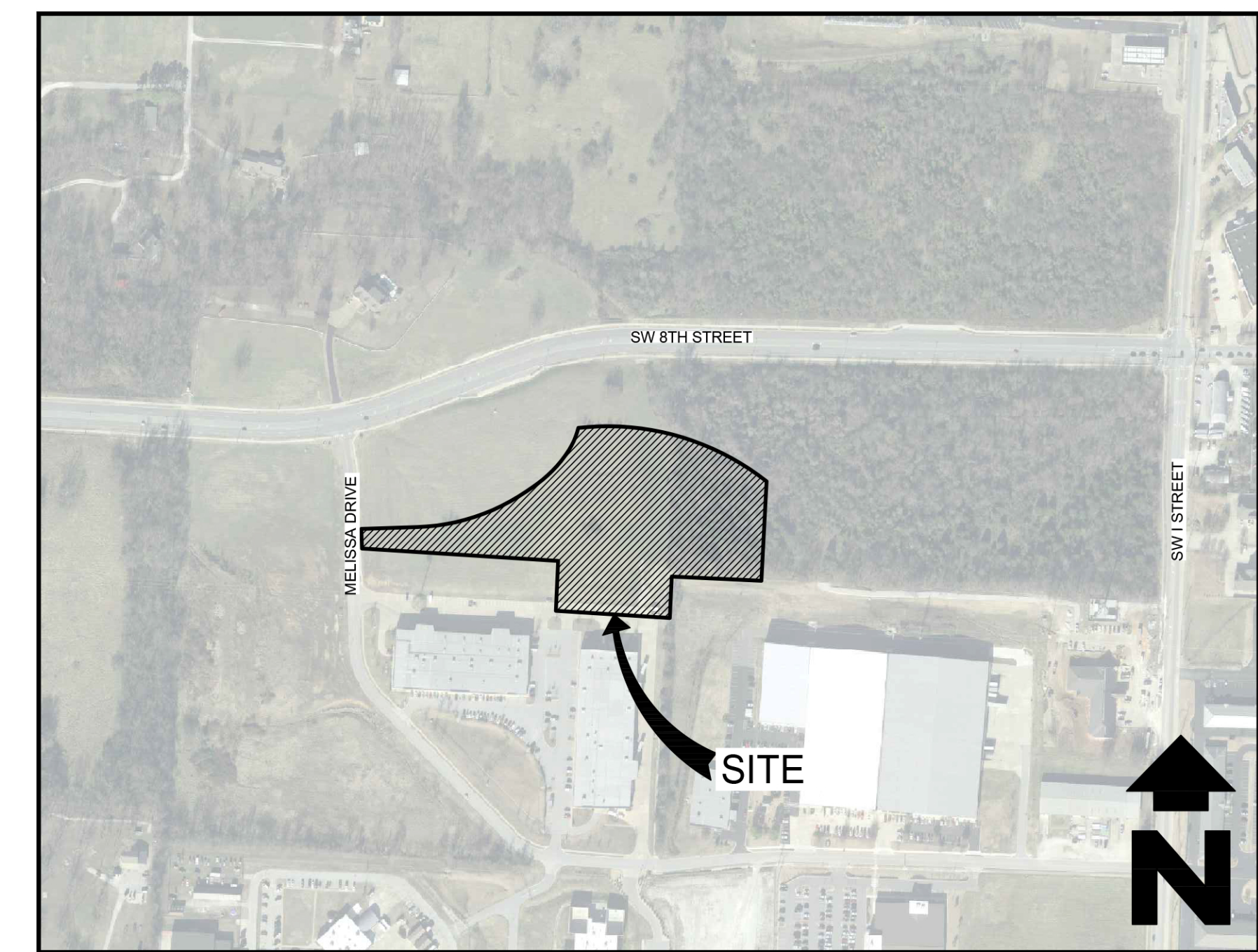
Note: The lot split (LS20-0044) associated with this Large Scale Development shall be approved prior to scheduling a pre-construction meeting.



# BENTONVILLE PET RESOURCE CENTER

LSD20-0070 LARGE SCALE DEVELOPMENT PLANS

1312 MELISSA DRIVE  
BENTONVILLE, AR 72712  
BENTON COUNTY



VICINITY MAP  
NO SCALE

## CONTACTS

**OWNER**  
BEST FRIENDS ANIMAL SOCIETY  
5001 ANGEL CANYON ROAD  
KANAB, UTAH 84741  
435-644-2001 EXT. 4384  
ROSE MOLINA

**SURVEYOR**  
HARRISON FRENCH & ASSOCIATES, LTD.  
1705 S. WALTON BLVD., SUITE 3  
BENTONVILLE, AR 72712  
479-273-7780

**CIVIL ENGINEERING**  
HARRISON FRENCH & ASSOCIATES, LTD  
1705 S. WALTON BLVD., SUITE 3  
BENTONVILLE, AR 72712  
479-273-7780  
RYAN GILL, PE/WENDY WERT

**ARCHITECTS**  
RA-DA  
7523 NORTON AVENUE,  
WEST HOLLYWOOD, CA 90046  
323-851-4040  
RANIA ALOMAR, AIA

**MEP**  
HARRISON FRENCH & ASSOCIATES, LTD  
1705 S. WALTON BLVD., SUITE 3  
BENTONVILLE, AR 72712  
479-273-7780

**LANDSCAPE ARCHITECT**  
HARRISON FRENCH & ASSOCIATES, LTD  
1705 S. WALTON BLVD., SUITE 3  
BENTONVILLE, AR 72712  
479-273-7780  
RICK MCGRAW, PLA

**GEOTECHNICAL ENGINEER**  
MCCLELLAND CONSULTING ENGINEERS, INC.  
1580 EAST STEARNS STREET  
FAYETTEVILLE, AR 72703  
479-587-1303

**PLANNING**  
CITY OF BENTONVILLE PLANNING DEPARTMENT  
305 SW "A" STREET  
BENTONVILLE, AR 72712  
479-271-3122  
ELLEN NORVELL

**HEALTH DEPARTMENT**  
ARKANSAS DEPARTMENT OF HEALTH  
1200 W. WALNUT STREET, SUITE 2200  
ROGERS, AR 72756  
479-986-1300  
JAMES BAILEY

**CITY STREET**  
CITY OF BENTONVILLE STREET DEPARTMENT  
3200 SW MUNICIPAL DRIVE  
BENTONVILLE, AR 72712  
479-271-3130  
TONY DAVIS

**WATER**  
CITY OF BENTONVILLE  
3200 SW MUNICIPAL DRIVE  
BENTONVILLE, AR 72712  
479-271-3140  
PRESTON NEWBILL

**WASTEWATER**  
CITY OF BENTONVILLE  
1901 N.E. "A" STREET  
BENTONVILLE, AR 72712  
479-271-3160  
NANCY BUSEN

**STORMWATER**  
CITY OF BENTONVILLE  
3200 SW MUNICIPAL DRIVE  
BENTONVILLE, AR 72712  
479-271-5002  
JANET PAITH  
JPAITH@BENTONVILLEAR.COM

**NATURAL GAS**  
BLACK HILLS ENERGY  
1301 FEDERAL HWY, P.O. BOX 2129  
LOWELL, AR 72745  
479-333-7005  
JOSH KNIGHT  
JOSHUA.KNIGHT@BLACKHILLSCORP.COM

**ELECTRIC**  
CITY OF BENTONVILLE  
3200 SW MUNICIPAL DRIVE  
BENTONVILLE, AR 72712  
479-271-3159  
CHARLIE BARNES

**TELEPHONE**  
AT&T  
627 WHITE ROAD  
SPRINGDALE, AR 72766  
479-440-1967 OR 479-442-1277  
SCOTT SEAMAN OR LAYNE RHODES  
LR159@ATT.COM

**TELEPHONE**  
COX COMMUNICATIONS  
4901 S. 48TH STREET  
SPRINGDALE, AR 72762  
479-717-3796  
KIP SMITH  
KIP.SMITH@COX.COM

**CITY ENGINEER**  
CITY OF BENTONVILLE  
3200 SW MUNICIPAL DRIVE  
BENTONVILLE, AR 72712  
479-271-5993  
DAN WEESE, PE

**FIRE**  
CITY OF BENTONVILLE  
FIRE DEPARTMENT  
800 SW "A" STREET  
BENTONVILLE, AR 72712  
479-271-5927  
BRENT BOYDSTON, FIRE CHIEF

## LEGAL DESCRIPTION

LOT 3 ALLEN SUBDIVISION SOUTH

BEGINNING (POB) AT THE SOUTHWEST CORNER OF LOT 19 HARDCASTLE ESTATES; THENCE N01°56'07"W, 50.01 FEET; THENCE N88°08'21"E, 147.66 FEET TO A TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 304.88 FEET, SAID CURVE HAVING A RADIUS OF 550.00 FEET AND A CHORD BEARING AND DISTANCE OF N72°15'33"E, 300.99 FEET TO A NON-TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 85.27 FEET, SAID CURVE HAVING A RADIUS OF 401.95 FEET AND A CHORD BEARING AND DISTANCE OF N52°15'14"E, 85.11 FEET TO A NON-TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 69.96 FEET, SAID CURVE HAVING A RADIUS OF 295.56 FEET AND A CHORD BEARING AND DISTANCE OF N39°13'06"E, 69.80 FEET TO A NON-TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 61.26 FEET, SAID CURVE HAVING A RADIUS OF 189.50 FEET AND A CHORD BEARING AND DISTANCE OF N23°29'48"E, 61.00 FEET TO A NON-TANGENT CURVE TO THE RIGHT; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 524.58 FEET, SAID CURVE HAVING A RADIUS OF 687.33 FEET AND A CHORD BEARING AND DISTANCE OF S74°35'04"E, 511.95 FEET; THENCE S02°42'30"W, 255.54 FEET; THENCE N87°24'03"W, 236.33 FEET; THENCE S02°47'30"W, 106.14 FEET; THENCE N86°28'10"W, 300.03 FEET; THENCE N02°42'49"E, 127.90 FEET; THENCE N86°28'06"W, 516.10 FEET TO THE POINT OF BEGINNING (POB), CONTAINING 272628 SQUARE FEET, 6.26 ACRES AS SURVEYED. SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, OR COVENANTS OF RECORD.

CITY OF BENTONVILLE BUILDING SETBACK REQUIREMENTS (AGRICULTURAL (A) DISTRICT)	
FRONT	30'
SIDE (INTERIOR AND EXTERIOR)	30'
REAR	30'

## FLOOD NOTE

(BY GRAPHICAL PLOTTING ONLY)  
THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAPS FOR BENTON COUNTY, ARKANSAS. MAP NUMBER: 05007C0255K, MAP REVISED JUNE 5, 2012.

## BENCHMARK

BENCHMARK 1: CHISELED "SQUARE" IN CONCRETE, IN BACK OF CURB AT EAST EDGE OF SIDEWALK RAMP, ±95' SOUTH OF SW CORNER LOT 19 HARDCASTLE ESTATES.

NORTHING: 746062.590'  
EASTING: 656012.068'  
ELEVATION: 1279.11'

BENCHMARK 2: DRAINAGE MANHOLE RIM, ±50' EAST-NORTHEAST OF THE NE CORNER OF LOT 19 HARDCASTLE ESTATES.

NORTHING: 746655.681'  
EASTING: 656898.145'  
ELEVATION: 1269.74'

## SHEET LIST

- C0.0 COVER SHEET
- C0.1 GENERAL NOTES
- C0.2 SURVEY(ASSOCIATED PLAN)
- C1.0 EROSION & SEDIMENT CONTROL PLAN
- C2.0 DEMOLITION PLAN
- C3.0 SITE PLAN OVERALL
- C3.1 SITE PLAN WEST
- C3.2 SITE PLAN EAST
- C4.0 STORM WATER DRAINAGE PLAN
- C4.1 GRADING PLAN WEST
- C4.2 GRADING PLAN EAST
- C4.3 PRE DRAINAGE PLAN
- C4.4 POST DRAINAGE PLAN
- C4.5 STORM SEWER PROFILE
- C5.0 UTILITY PLAN OVERALL
- C5.1 UTILITY PLAN WEST
- C5.2 UTILITY PLAN EAST
- C5.3 PUBLIC WATER MAIN PROFILE
- C6.0 TREE PRESERVATION PLAN
- C6.1 LANDSCAPE PLAN
- C10.0 EROSION DETAILS
- C10.1 SITE DETAILS 1
- C10.2 SITE DETAILS 2
- C10.3 GRADING DETAILS
- C10.4 UTILITY DETAILS
- C10.5 DETAILS BY OTHERS
- C11.0 CITY WATER DETAILS 1
- C11.1 CITY WATER DETAILS 2
- C11.2 CITY WATER/SEWER DETAILS 1
- C11.3 CITY WATER/SEWER DETAILS 2
- C11.4 CITY SANITARY SEWER DETAILS 1
- C11.5 CITY SANITARY SEWER DETAILS 2
- C11.6 CITY ELECTRIC DETAILS 1
- C11.7 CITY ELECTRIC DETAILS 2
- C11.8 CITY ELECTRIC DETAILS 3

## REVISION CHART

△	TITLE	DATE	NOTES:
△	REV-1	01.04.2021	Revised per city comments



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**HARRISON FRENCH & ASSOCIATES, LTD**  
1705 S. Walton Blvd., Suite 3  
Bentonville, Arkansas 72712  
t 479.273.7780  
f 888.520.9685  
www.hfa-ac.com

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BENTONVILLE PET RESOURCE CENTER  
LARGE SCALE DEVELOPMENT PLANS  
1312 MELISSA DRIVE  
BENTONVILLE, AR 72712  
PROJ. NUMBER: 18-18-00159

△	TITLE	DATE
	DESIGN DEV.	11.20.2020
	OTP	12.14.2020
△	REV-1	01.04.2021

DOCUMENT DATE:	1/1/2021
CHECKED BY:	DRG
DRAWN BY:	WDW

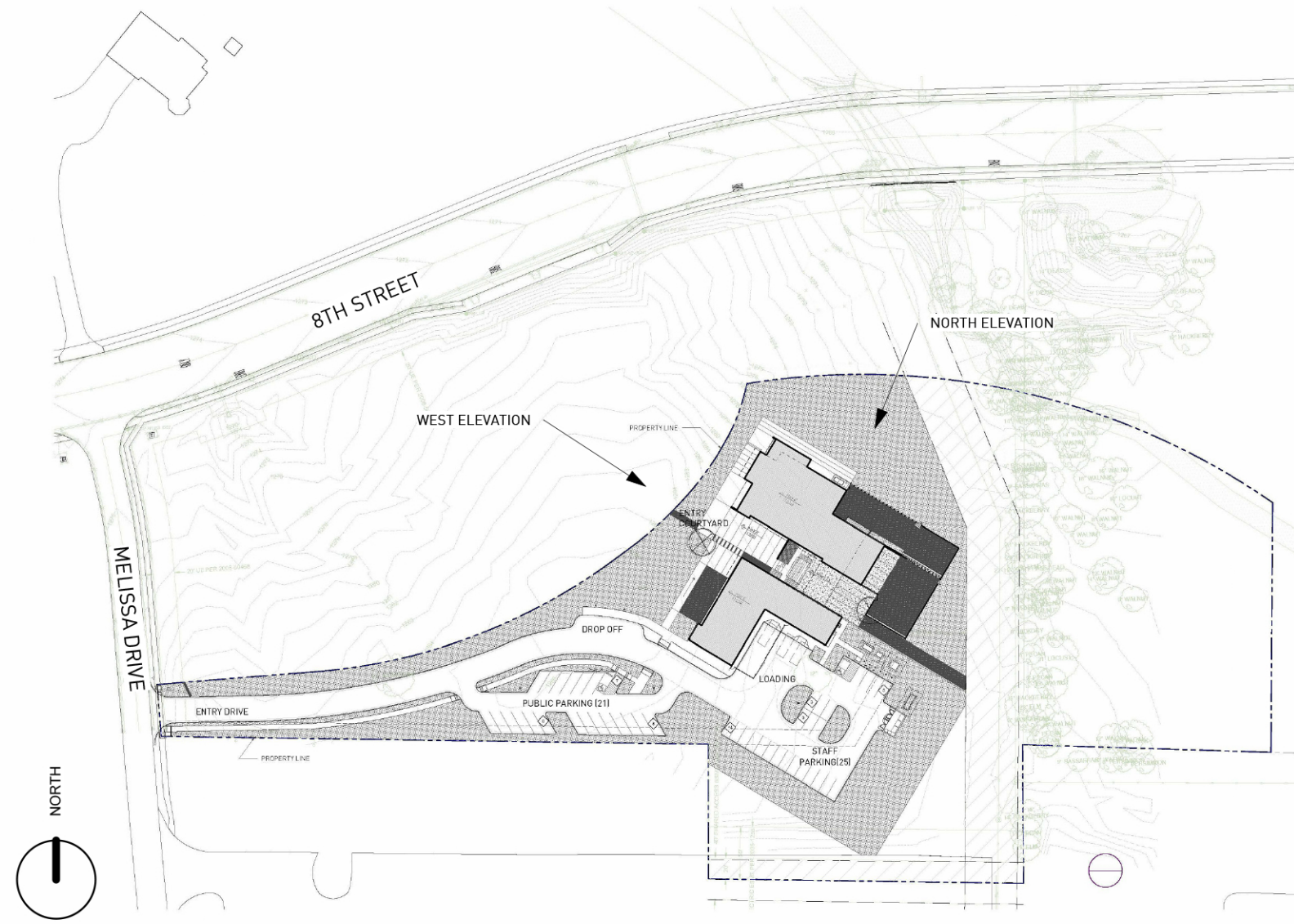
NOT FOR CONSTRUCTION  
DANIEL RYAN GILL, PE  
LICENSE # 12539

COVER SHEET

SHEET: C0.0



OVERALL SITE PLAN



SITE 3D



RA-DA

RANIA ALOMAR DESIGN AND ARCHITECTURE  
7523 NORTON AVE  
WEST HOLLYWOOD, CA 90046  
(323) 851 4040

PROJECT NAME  
NW Arkansas PET RESOURCE CENTER

PROJECT ADDRESS  
BENTONVILLE ARKANSAS

CLIENT INFORMATION  
Name: Best Friends Animal Society  
Role:

Address:

Tel: 435.644.2001

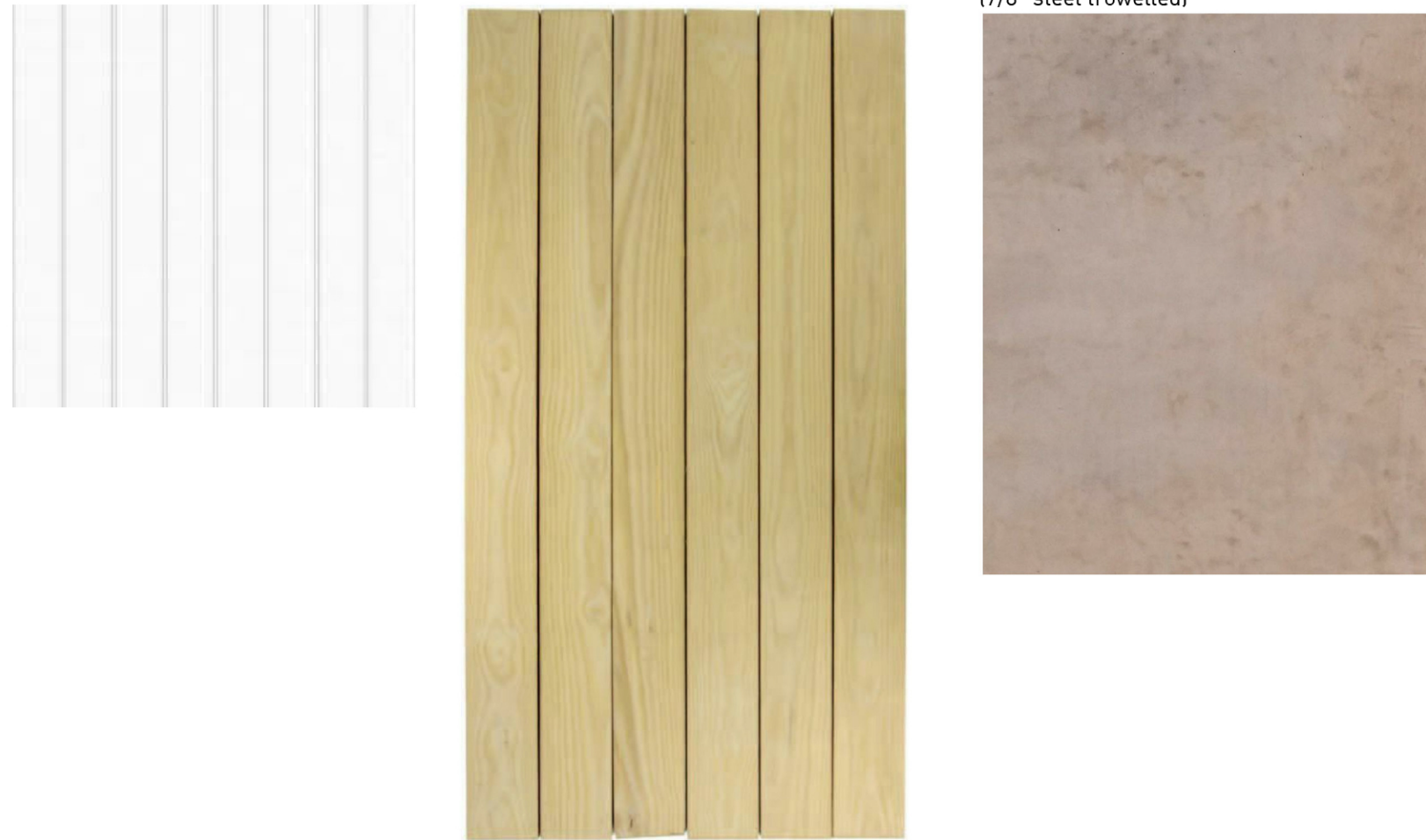
Fax:

Email: bartbestfreund.org

Website:

EXTERIOR MATERIALS PALETTE

- 1. STANDING SEAM METAL PANEL ROOF AND FASCIA, 22 GAUGE
- 2. ACETYLATED WOOD PANEL, 1" X 8" WIDE PLANKS
- 7. EARTH TONE FOR CONCRETE PLASTERED WALL AND SMOOTH CEMENTITIOUS PLASTER (7/8" steel trowelled)



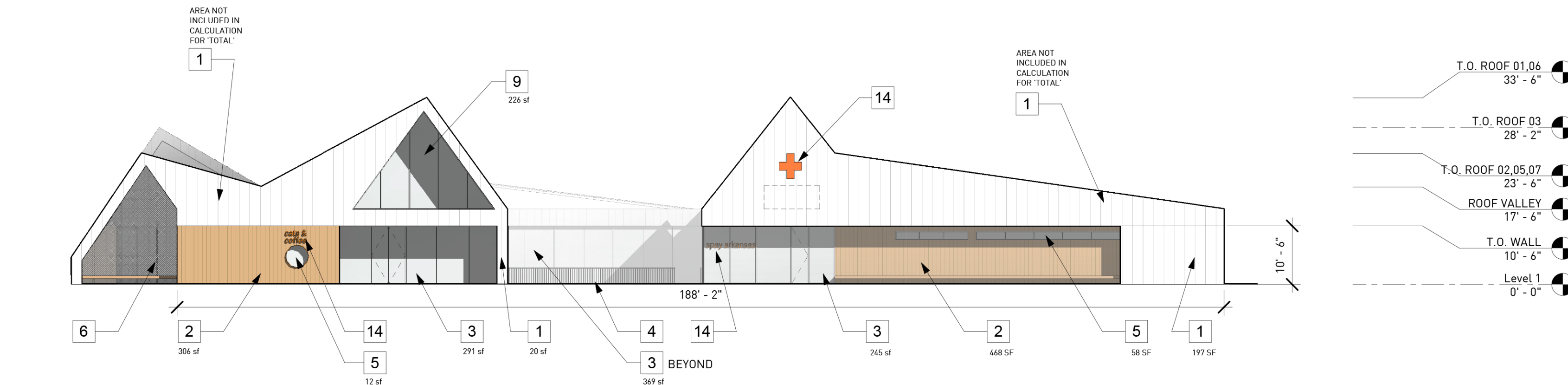
KEYNOTE - COLOR ELEVATIONS

Key #	Note Text
1	STANDING SEAM METAL PANEL - WHITE, 22 GAUGE
2	ACETYLATED WOOD PLANKS - 1" THICK, 8" WIDE PLANKS, W. 1/8" GAP BETWEEN PLANKS
3	GLASS STOREFRONT SYSTEM - CLEAR GLASS
4	METAL HANDRAIL
5	FIXED WINDOW - CLEAR LOW E GLASS
6	WOVEN CABLE MESH - POLYMER COATED BLACK / INVISIBLE
7	7/8" STEEL TROWELLED CEMENTITIOUS PLASTER - EARTH TONE
8	7/8" STEEL TROWELLED CEMENTITIOUS PLASTER - WHITE
9	GLASS CURTAINWALL SYSTEM - CLEAR LOW-E GLASS
10	TRANSLUCENT POLYCARBONATE PANEL SYSTEM - TRANSLUCENT
11	PIVOT DOOR - COLOR TO MATCH WOOD PLANKS
12	ROLL UP DOOR IN LOADING AREA
13	CONCRETE WALL WITH PARGED FINISH - EARTHTONE
14	ALUMINIUM CHANNEL LETTER SIGNAGE

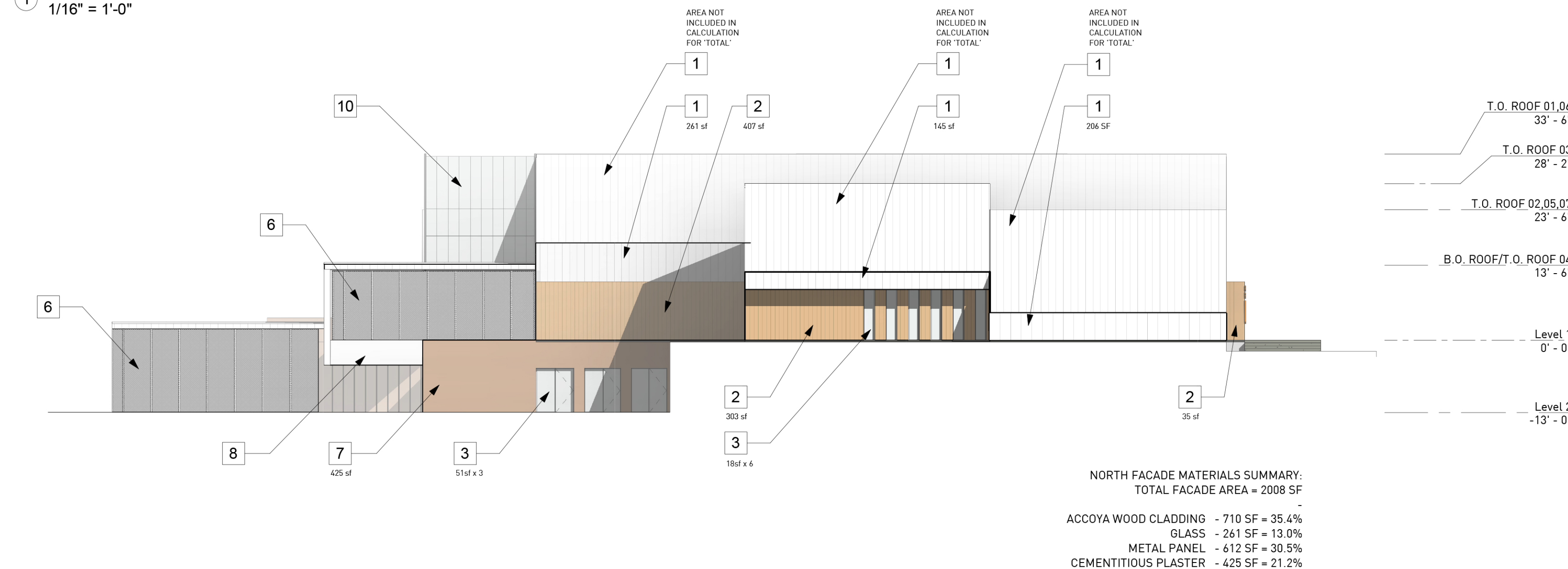
LEGEND

- X KEYNOTE, SEE TABLE ABOVE
- STANDING SEAM PANELS, SEE KEYNOTES
- WOOD PLANKS, SEE KEYNOTES
- CONCRETE/PLASTER WALL

ELEVATIONS



1 West Elevation - Color AREAS  
1/16" = 1'-0"



2 North Elevation - Color AREAS  
1/16" = 1'-0"

CITY OF BENTONVILLE -  
WAIVER  
(NOT FOR CONSTRUCTION)  
DO NOT SCALE FROM DRAWINGS.

DATE	SUBMITTAL
11/20/20	DESIGN DEVELOPMENT
12/11/2020	LSD SUBMITTAL
01/11/2021	LSD SUBMITTAL - R1

PROJECT  
**NW Arkansas PET RESOURCE CENTER**

SHEET NAME  
**EXTERIOR COLOR ELEVATIONS 2**

REAL AND SIGNATURE PROJECT NO:  
DRAWN BY:  
CHECK BY:  
DWG NO.

A2.11



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**BENTONVILLE PET  
RESOURCE CENTER  
LARGE SCALE DEVELOPMENT PLANS**

1312 MELISSA DRIVE  
BENTONVILLE, AR 72712  
PROJ. NUMBER: 18-18-00159

ISSUE BLOCK		
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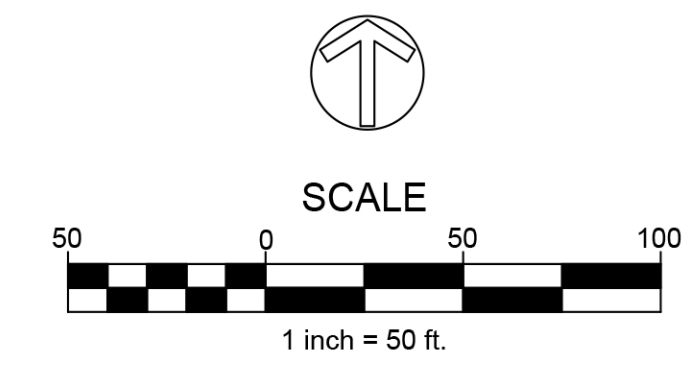
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DRAWN BY:	WDW

NOT FOR CONSTRUCTION

DANIEL RYAN GILL, PE  
LICENSE #: 12539

**SITE PLAN  
OVERALL**

SHEET:  
**C3.0**



**EXISTING LEGEND**

- MONUMENT SET (AS NOTED)
- MONUMENT FOUND (AS NOTED)
- CALCULATED POSITION
- BENCH MARK
- UTILITY POLE
- SIGN
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- CLEANOUT
- ELECTRICAL RISER
- PHONE RISER
- FIBER OPTIC RISER
- MAILBOX
- DECIDUOUS TREE
- PROPERTY LINES
- - - ADJOINING PROPERTY LINE
- - - EASEMENT LINE
- - - RIGHT-OF-WAY LINE
- - - OVERHEAD ELECTRIC LINE
- - - FENCE (WOOD)
- - - FENCE (CHAINLINK)
- - - FENCE (BARB WIRE)
- - - FLOW LINE
- - - DRAINAGE PIPE
- WETLANDS (AS NOTED) PER NATIONAL WETLANDS INVENTORY

**PROPOSED LEGEND**

- PROPERTY LINE
- CURB & GUTTER
- LIMITS OF DETENTION
- FIRE LANE MARKING
- BSL BUILDING SETBACK LINE
- LSL LANDSCAPE SETBACK LINE
- Ⓜ ELECTRIC METER
- Ⓜ GAS METER
- Ⓜ PARKING COUNT
- Ⓜ TRANSFORMER
- Ⓜ WATER METER
- Ⓜ BACKFLOW PREVENTER
- CONCRETE SIDEWALK
- DECOMPOSED GRANITE
- LIGHT DUTY ASPHALT
- STANDARD DUTY ASPHALT
- 2"-4" ARKANSAS NATIVE STONE

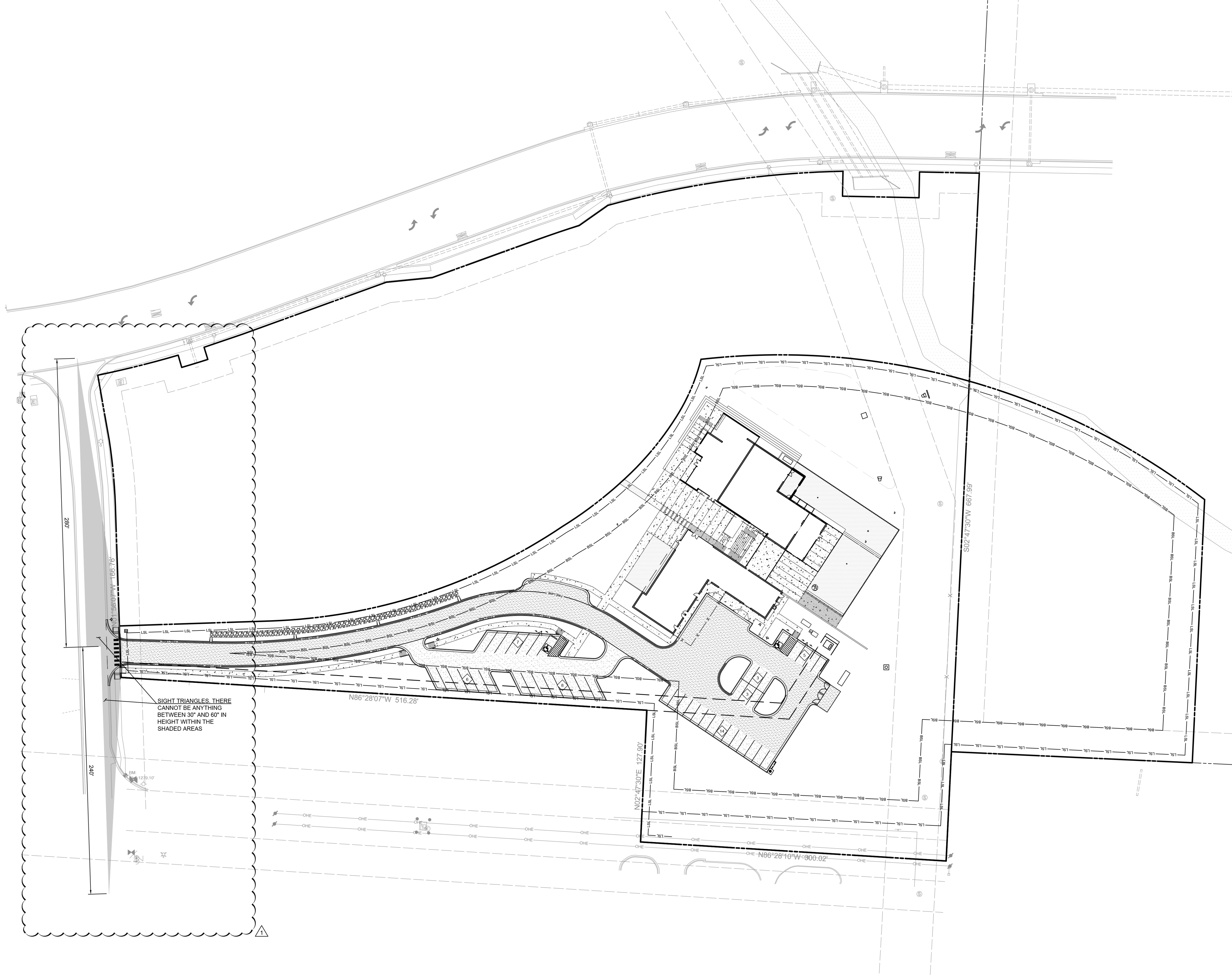
**CITY OF BENTONVILLE BUILDING SETBACK REQUIREMENTS (AGRICULTURAL (A) DISTRICT)**

FRONT	30'
SIDE (INTERIOR AND EXTERIOR)	30'
REAR	30'

**CITY OF BENTONVILLE PARKING REQUIREMENTS**

	REQUIRED	PROVIDED
BUSINESS AND PROFESSIONAL OFFICE (1 SPACE / 300 SF OF NET FLOOR AREA) (7535 SF / 300 = 25.1)	25	46
EXHIBITION HALLS (1 SPACE / 200 SF OF NET FLOOR AREA) (2280 SF / 200 = 11.4)	11	
GENERAL BUSINESS AND RETAIL SALES (1 SPACE / 250 SF OF NET FLOOR AREA) (1885 SF / 250 = 7.5)	8	
<b>TOTAL SPACES</b>	<b>44</b>	<b>46</b>

- CITY OF BENTONVILLE NOTES**
1. THERE IS NO PROPOSED FREESTANDING SIGNAGE AT THIS TIME. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
  2. ALL MECHANICAL EQUIPMENT WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING
  3. THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING
  4. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS
  5. NO NEW LIGHTING IS PROPOSED AT THIS TIME. ANY NEW LIGHTING WILL BE REQUIRED TO BE CUT-OFF OR B-U-G AND HAVE A U RATING OF 0 AND ANY NEW LIGHTING MUST BE APPROVED THE PLANNING DEPARTMENT.



SIGHT TRIANGLES THERE CANNOT BE ANYTHING BETWEEN 30" AND 60" IN HEIGHT WITHIN THE SHADED AREAS



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PROJECT IS NOT AUTHORIZED AND MAY BE  
CONSIDERED AS A VIOLATION OF THE  
PROFESSIONAL ENGINEERING AND  
SURVEYING ACT.

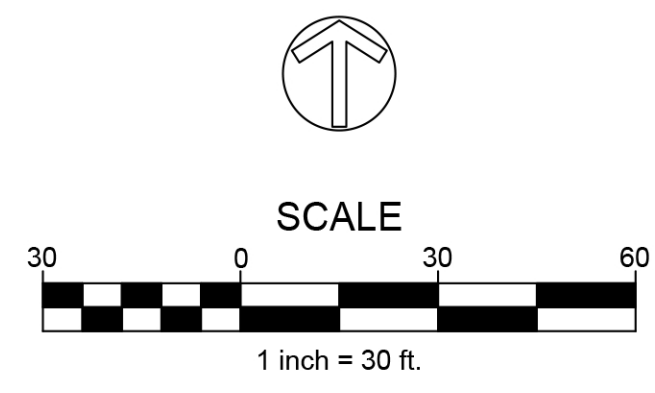
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NOT FOR CONSTRUCTION  
DANIEL RYAN GILL, PE  
LICENSE #: 12539

**SITE  
PLAN WEST**



**EXISTING LEGEND**

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- WETLANDS (AS NOTED) PER NATIONAL WETLANDS INVENTORY

**PROPOSED LEGEND**

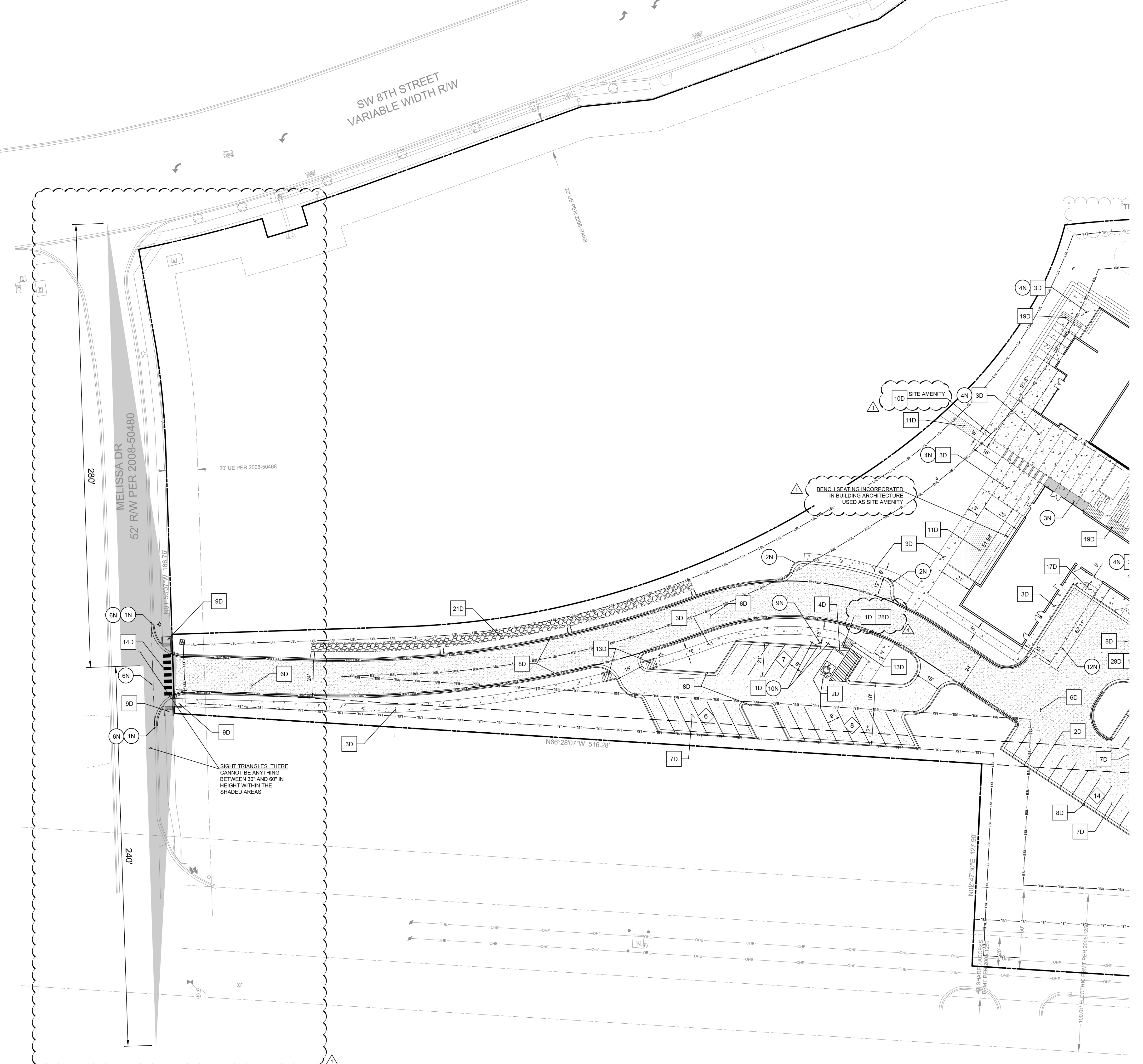
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- LANDSCAPE SETBACK LINE
- CURB INLET
- ELECTRIC METER
- GAS METER
- PARKING COUNT
- TRANSFORMER
- WATER METER

**NOTES**

- 1N. TAPER CURB TO MATCH EXISTING
- 2N. TRANSITION CURB FROM 6" TO 0" OVER 12'
- 3N. CONCRETE WITH SPECIALTY FINISH
- 4N. CONCRETE WITH INTEGRAL COLOR, WITH SAWCUT AND CONTROL JOINTS
- 5N. MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 6N. FULL DEPTH COMPLETE SAWCUT - PROPOSED PAVING TO MATCH EXISTING ELEVATIONS
- 7N. TRANSFORMER PAD
- 8N. HVAC EQUIPMENT
- 9N. ELECTRIC CAR CHARGING STATION
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- 11N. BACKUP GENERATOR
- 12N. DOG TRANSPORT FENCING
- 13N. STEEL CABLE MESH FENCING 6' HIGH
- 14N. ARCHITECTURAL MECHANICAL SCREENING
- 15N. DUMPSTER ENCLOSURE, SEE ARCHITECTURAL DETAIL
- 16N. 2' STEPPED SIDEWALK

**DETAILS**

- 1D. SITE SIGN BASE DETAIL, SEE DETAIL 1/C10.1
- 2D. PARKING LOT STRIPING, SEE DETAIL 2/C10.1
- 3D. CONCRETE SIDEWALK, SEE DETAIL 3/C10.1
- 4D. PRECAST CONCRETE WHEEL STOP, SEE DETAIL 4/C10.1
- 5D. FIRE LANE MARKING, SEE DETAIL 5/C10.1
- 6D. STANDARD DUTY ASPHALT, SEE DETAIL 6/C10.1
- 7D. LIGHT DUTY ASPHALT, SEE DETAIL 6/C10.1
- 8D. TYPE "B" INTEGRAL CURB AND GUTTER, SEE DETAIL 7/C10.1
- 9D. ADA RAMP IN SIDEWALK WITH TRUNCATED DOMES, SEE DETAIL 10/C10.1
- 10D. BIKE RACK, SEE DETAIL 8/C10.1
- 11D. DECOMPOSED GRANITE, SEE DETAIL 9/C10.1
- 12D. MOUNTABLE CURB AND GUTTER, SEE DETAIL 11/C10.1
- 13D. ADA RAMP IN SIDEWALK WITHOUT TRUNCATED DOMES, SEE DETAIL 10/C10.1
- 14D. CROSSWALK, SEE DETAIL 12/C10.1
- 15D. NOT USED
- 16D. NOT USED
- 17D. CURB RAMP IN SIDEWALK, SEE DETAIL 7/C10.2
- 18D. NOT USED
- 19D. CONCRETE STAIRS, SEE DETAIL 2/C10.2
- 20D. NOT USED
- 21D. NATIVE LANDSCAPE LANDSCAPE GRAVEL, SEE DETAIL 1/C10.3
- 22D. LARGE CONCRETE RETAINING WALL, SEE DETAIL 4/C10.2
- 23D. NOT USED
- 24D. CONCRETE WALL (MAX HEIGHT 3'-10"), SEE DETAIL 5/C10.2
- 25D. CONCRETE WALL WITH STONE MASONRY (MAX HEIGHT 3'-10"), SEE DETAIL 8/C10.2
- 26D. CONCRETE WALL (MAX HEIGHT 1'-6"), SEE DETAIL 6/C10.2
- 27D. 7" CONCRETE CURB, SEE DETAIL 3/C10.2
- 28D. ADA SIGNAGE, SEE DETAIL 1/C10.1





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**BENTONVILLE PET  
RESOURCE CENTER  
LARGE SCALE DEVELOPMENT PLANS**

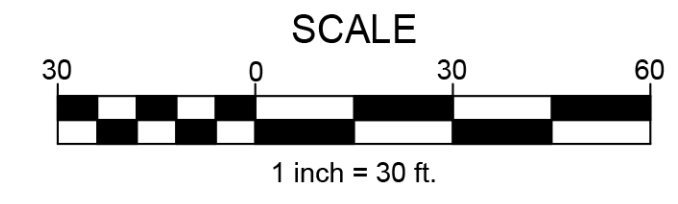
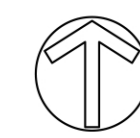
1312 MELISSA DRIVE  
BENTONVILLE, AR 72712  
PROJ. NUMBER: 18-18-00159

ISSUE BLOCK		
#	TITLE	DATE
DESIGN DEV.		11.20.2020
OTP		12.14.2020
REV-1		01.04.2021

DOCUMENT DATE: 1/1/2021  
CHECKED BY: DRG  
DRAWN BY: WDW

NOT FOR CONSTRUCTION  
DANIEL RYAN GILL, PE  
LICENSE # 12539

**SITE  
PLAN EAST**  
SHEET:  
**C3.2**



**EXISTING LEGEND**

- MONUMENT SET (AS NOTED)
- MONUMENT FOUND (AS NOTED)
- CALCULATED POSITION
- BENCH MARK
- UTILITY POLE
- SIGN
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- CLEANOUT
- ELECTRICAL RISER
- PHONE RISER
- FIBER OPTIC RISER
- MAILBOX
- DECIDUOUS TREE
- PROPERTY LINES
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- OVERHEAD ELECTRIC LINE
- FENCE (WOOD)
- FENCE (CHAINLINK)
- FENCE (BARB WIRE)
- FLOW LINE
- DRAINAGE PIPE
- WETLANDS (AS NOTED) PER NATIONAL WETLANDS INVENTORY

**PROPOSED LEGEND**

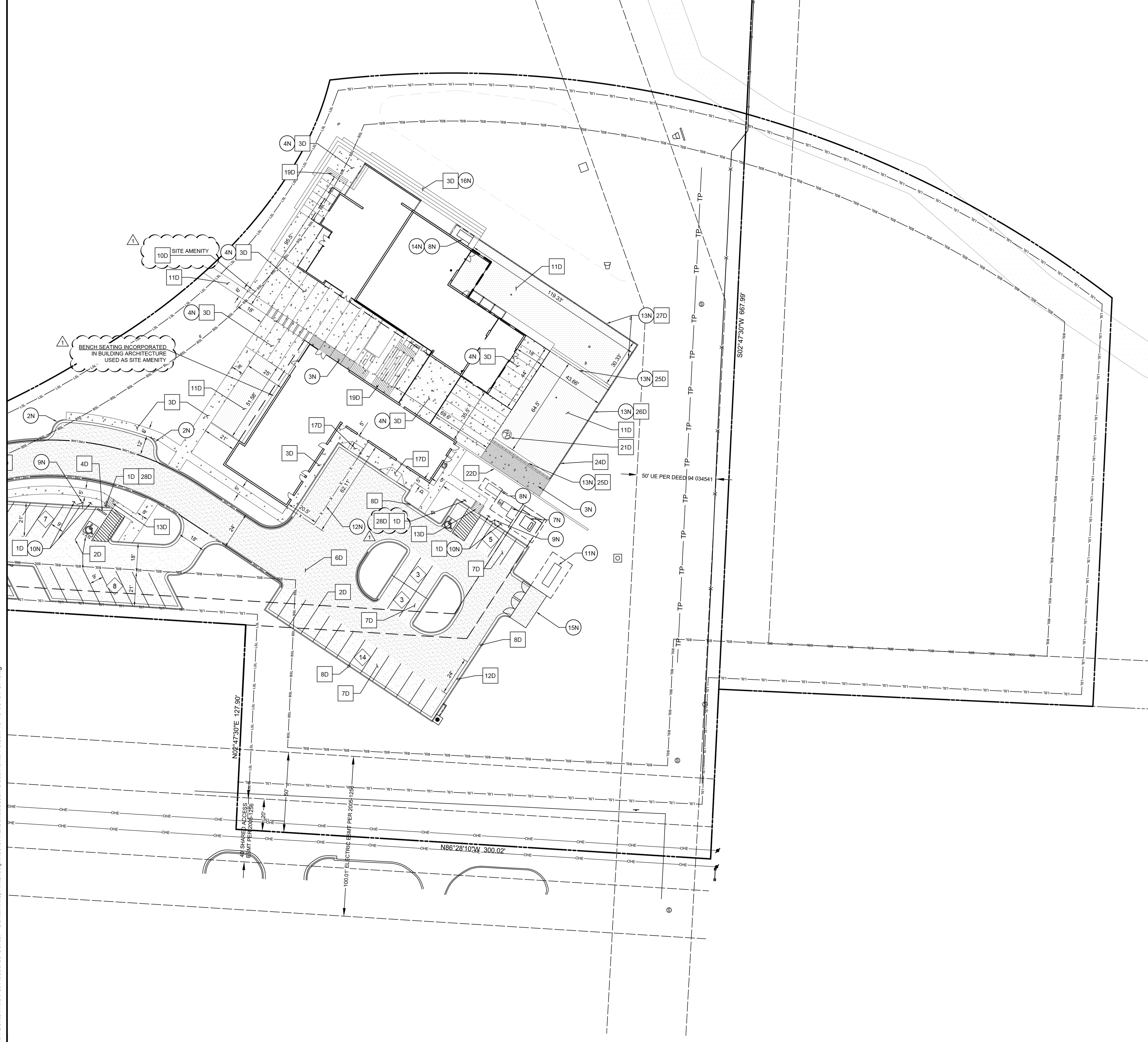
- PROPERTY LINE
- CURB & GUTTER
- FIRE LANE
- LIMITS OF DETENTION
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- CURB INLET
- ELECTRIC METER
- GAS METER
- PARKING COUNT
- TRANSFORMER
- WATER METER

**NOTES**

- 1N. TAPER CURB TO MATCH EXISTING
- 2N. TRANSITION CURB FROM 6" TO 0" OVER 12'
- 3N. CONCRETE WITH SPECIALTY FINISH
- 4N. CONCRETE WITH INTEGRAL COLOR, WITH SAWCUT AND CONTROL JOINTS
- 5N. MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 6N. FULL DEPTH COMPLETE SAWCUT - PROPOSED PAVING TO MATCH EXISTING ELEVATIONS
- 7N. TRANSFORMER PAD
- 8N. HVAC EQUIPMENT
- 9N. ELECTRIC CAR CHARGING STATION
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**DETAILS**

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**BENTONVILLE PET  
RESOURCE CENTER  
LARGE SCALE DEVELOPMENT PLANS**  
1312 MELISSA DRIVE  
BENTONVILLE, AR 72712  
PROJ. NUMBER: 18-18-00159

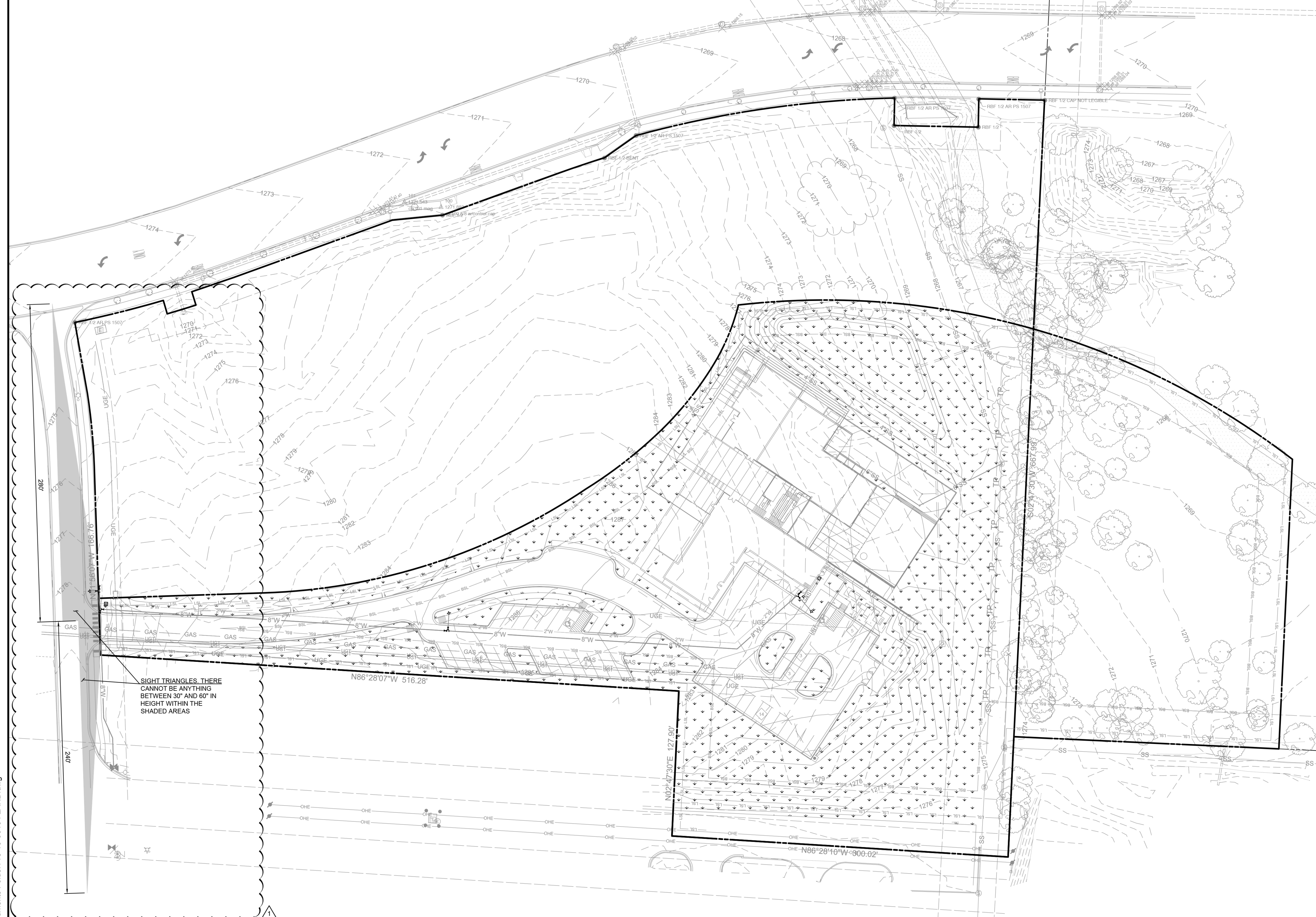
ISSUE BLOCK	TITLE	DATE
DESIGN DEV.		11.20.2020
OTP		12.14.2020
REV-1		01.04.2021

DOCUMENT DATE: 12/28/2020  
CHECKED BY: DRG  
DRAWN BY: WDW

REGISTERED LANDSCAPE ARCHITECT  
Worth F. McGraw IV  
License Number 6967  
STATE OF ARKANSAS  
01/04/2021

**LANDSCAPE  
PLAN**

SHEET:  
**C6.1**



**EXISTING LEGEND**

MONUMENT SET (AS NOTED)	PROPERTY LINES
MONUMENT FOUND (AS NOTED)	ADJOINING PROPERTY LINE
CALCULATED POSITION	EASEMENT LINE
BENCH MARK	RIGHT-OF-WAY LINE
UTILITY POLE	OVERHEAD ELECTRIC LINE
SIGN	FENCE (WOOD)
WATER METER	FENCE (CHAINLINK)
WATER VALVE	FENCE (BARB WIRE)
FIRE HYDRANT	FLOW LINE
DRAINAGE MANHOLE	DRAINAGE PIPE
SANITARY SEWER MANHOLE	WETLANDS (AS NOTED) PER NATIONAL WETLANDS INVENTORY
CLEANOUT	
ELECTRIC RISER	
PHONE RISER	
FIBER OPTIC RISER	
MAILBOX	
DECIDUOUS TREE	

**PLANT SCHEDULE**

GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	CH	96,427 sf	Bermuda Grass / Cynodon dactylon '419 Hybrid'	sod or seed

**CITY OF BENTONVILLE PLANTING REQUIREMENTS**

	REQUIREMENT	REQUIRED	PROVIDED
STREET FRONTAGE BUFFER	20' BUFFER WIDTH 1 SHADE TREE PER 20 L.F. (50 L.F. / 20 = 2.5 TREES)	3	USE TREE CREDITS
PERIMETER LANDSCAPE STRIP	7' MIN WIDTH 1 TREE PER 50 L.F. (MIN. 50% SHADE TREES) (2,786 L.F. / 50 = 55.7 TREES)	56	USE TREE CREDITS
INTERIOR PARKING LOT LANDSCAPING	8% OF TOTAL PARKING LOT AREA SHALL BE INTERIOR PARKING LOT LANDSCAPING (14,911 SF PARKING LOT AREA X 0.08 = 1,193 SF INTERIOR LANDSCAPING)	1,193 SF	
	PARKING ISLAND EVERY 15 SPACES	YES	YES
	ALL ROWS OF PARKING SHALL TERMINATE WITH LANDSCAPE AREA (INTERNAL PLANTING ISLANDS SHALL CONTAIN 2 SHADE TREES) (EXTERNAL PLANTING ISLANDS SHALL CONTAIN 1 SHADE TREE)		USE TREE CREDITS
TREE PRESERVATION	CREDIT FOR PRESERVED TREES BASED ON TOTAL DIAMETER OF ALL PRESERVED TREES		130 TREES CREDITED

**GENERAL LANDSCAPE NOTES:**

THIS PLAN IS FOR LANDSCAPE LAYOUT ONLY. ALL GRADING, UTILITIES, SITE STRUCTURES, ETC. ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH CIVIL PLANS AND IN THE FIELD.

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.

CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.

UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.

ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.

THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.

ALL DISTURBED AREAS ON AND OFF THE SITE, INCLUDING THE TEMPORARY DETENTION AREA, SHALL BE COMPLETELY HYDROSEEDDED OR SODDED WITH GRASS SEED SPECIFIED ON PLANS.

SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE.

**MAINTENANCE:**  
SEEDDED AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR ALL GRASSED AREAS FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY RESEED, FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.

THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.

THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI A300 PARTS 1 THROUGH 6).

ALL TOPSOIL (4"-5" IN PLANTING BEDS) (1"-2" FOR SEED AND SOD AREAS) APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 15 PERCENT BY DRY WEIGHT ORGANIC MATTER, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES, SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH SHREDDED HARDWOOD MULCH AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP OF MULCH SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x5"). PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12"

LANDSCAPE EDGING TO BE STEEL AND SHALL BE DARK IN COLOR.

THIS SHEET IS FOR THE PURPOSE OF LANDSCAPING ONLY. ALL GRADING, UTILITIES, SITE FEATURES, ETC. ARE FOR REFERENCE ONLY. PLEASE REFER TO CIVIL PLANS FOR MORE DETAILS.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT INSTALLED LANDSCAPING DOES NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS. IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL LANDSCAPING SO AS TO NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS

- CITY OF BENTONVILLE LANDSCAPE NOTES:**
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED
  - TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES
  - LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC. SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED
  - WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITY LOCATIONS SHALL BE FIELD VERIFIED
  - ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIBER AND THE LOWEST LIMB SHALL BE 96" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING
  - ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES

